

**BOLINGBROOK PARK DISTRICT**  
**Annerino Community Center – Board Room**  
**Workshop Meeting Agenda**  
**April 21, 2022**  
**6:30 PM**

1. Call to order
2. Roll call
3. Approval of Agenda
4. District Operations and Activities Update
5. Communication from the Public
6. Unfinished Business
7. New Business
8. Closed Session pursuant to 5 ILCS 120/2 (c) for the purpose of discussing:
  - (1) The employment, discipline and performance of specific employees.
  - (5) The purchase or lease of real property.
  - (6) The setting of a price for sale or lease of property.
  - (11) Pending or probable litigation.
  - (21) Approval or semi-annual review of closed meeting minutes.
9. Motion to adjourn

**BOLINGBROOK PARK DISTRICT**  
**Annerino Community Center – Board Room**  
**Board Meeting Agenda**  
**April 21, 2022**  
**7:00 PM**

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of:
  - A. Monthly Workshop Meeting Minutes of March 17, 2022
  - B. Monthly Board Meeting Minutes of March 17, 2022
  - C. Executive Session Meeting Minutes of March 17, 2022
6. Correspondence to Board from the Public
7. Comments from the Public at Meeting
8. Attorney's Report
9. Leadership Team Report
10. Treasurer's Report
  - A. Approval of Disbursements – approval of payment of bills including travel reimbursement in the amount of \$757,825.63, subject to audit.
11. Committee Reports
  - A. Administration and Personnel – **President Vastalo**
    - *Motion to approve Ordinance 22-03 annexing certain territory to the Bolingbrook Park District –Ed James Property (SE Corner of Veterans Parkway and Frontage Road). Bolingbrook, IL.*
  - B. Finance and Technology – **Commissioner Hix**
  - C. Buildings, Grounds, and Natural Resources – **Commissioner Andrews**
    - *Motion to approve Resolution 22-18 awarding a contract in the amount of \$29,430.00 to Perm-A-Seal of South Holland, IL for Sports Court Resurfacing 2022.*
    - *Motion to approve the purchase of a 2022 Hustler Super 104 Kawasaki FX1000 EFI (38.5 hp) 104” Mower in the amount of \$24,914.00 to Hustler Turf of Hesston, Kansas.*

- D. Recreation - Commissioner McKay
  - Pre School/Early Childhood
  - Dance/Theatre
  - Gymnastics/Cheer/Ninja
  - REACH/Daycamp/Enrichment
  - Youth and Teen Programming
  - Community Events
  
- E. Facilities – Commissioner McKay
  - Fitness
  - Aquatics
  - Athletics
  - Adult Trips
  
- E. Marketing – Commissioner McVey
- F. Golf Course and Ashbury’s – Commissioner McVey
- G. NWCSRA - Commissioner McVey

12. Unfinished Business

13. Comments from the Public at Meeting

14. New Business

15. Announcements

16. Closed Session pursuant to 5 ILCS 120/2 (c) for the purpose of discussing:
- (1) The employment, discipline and performance of specific employees.
  - (5) The purchase or lease of real property.
  - (6) The setting of a price for sale or lease of property.
  - (11) Pending or probable litigation.
  - (21) Approval or semi-annual review of closed meeting minutes.

17. Motion to adjourn

18. Citizens’ Guide to Addressing the Park Board:

Anyone wishing to speak under the agenda item entitled “Comments from the Public” shall adhere to the following guidelines:

1. A person shall be permitted to speak upon being recognized by the chairperson. Please stand (if possible), announce your name and address before commencing. All comments under COMMENTS FROM THE PUBLIC are limited three (3) minutes, and each person shall only be permitted to speak once.
2. All speakers shall address their comments to the chairperson. The chairperson may request that the appropriate member of the Park Board or staff respond to the comment.
3. The chairperson shall preserve order and decorum. The chairperson shall decide all questions of order.
4. When addressing the Park Board, members, administrative officers and other persons permitted to speak shall confine their remarks to the matter at hand and avoid personal remarks, the impugning of motives, and merely contentious statements. If any person indulges in such remarks or otherwise engages in conduct injurious to the harmony of the Park Board and the meeting, the chairperson may immediately terminate the opportunity to speak. This decision is at the discretion of the chairperson or upon the affirmative vote of two-thirds ( $\frac{2}{3}$ ) of the park board commissioners present. Any person, except a member of the Board, who engages in disorderly conduct during a meeting, may be ejected from the meeting upon motion passed by a majority of the Board present.
5. Please do not repeat comments that have already been made by others.

**BOLINGBROOK PARK DISTRICT**  
**Annerino Community Center – Board Room**  
**Workshop Meeting Minutes**  
**March 17, 2022**

President Vastalo called the meeting to order at 6:30pm. Roll call: Andrews, McKay, Hix, McVey, President Vastalo.

Motion Commissioner Vastalo, second Commissioner McKay to approve agenda as submitted. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.

**Presentation of Community Survey Pulse Check**

Karin Ferenz of Customer LifeCycle gave a brief presentation on the Community Survey Pulse Check. Below are some highlights Ms. Ferenz shared:

Ms. Ferenz said the Park District wanted to find out if improvements were on target, or not. An efficient way to do this was to check with the 20 plus people who made suggestions in the 2020 qualitative research as well as with other community members who did not participate in the past research.

Ms. Ferenz said the users love the districts changes.

- They loved how the district communicates with users:
  - They thought the flyer is better than the catalog.
  - Facebook is easy to share so friends and family can join too.
- Remolding and refresh of facilities:
  - BRAC and Pelican Harbor are clean and modern.
  - Trails are well maintained and free of trash.
- They though the District balanced user satisfaction and COVID-19 requirements with proper social distancing and the schedule changes on Facebook.

Users wanted improvements in the following:

- Staff and Course Content:
  - Older, more competent instructors.
  - Credentialed in childcare, classroom management.
- Facilities:
  - Much improvement and it shows.
  - Bring rest of facilities to this new standard.
- Events:
  - Large, free, community-wide concerts, dances, firework displays, and food festivals.
  - Fill in the gap in events for older teens.
  - Gatherings of 20 or so users who sign up for a specific purpose.

Ms. Ferenz said the bottom line is residents are proud of the Park District, they are very pleased with the Park District.

Oestreich said Ms. Ferenz really hit the mark and it was important to get the pulse check to find out what the community's thoughts were.

Commissioner Hix said he is looking for the model of the agency that can engage older teens. Hix asked if agency has done it successfully and what did they do? Ms. Ferenz said she would look into this and get back to Hix.

### **District Operations and Activities Update**

Executive Director reviewed the following Ordinance and Resolutions:

#### **Finance and Technology**

Resolution 22-17 approving contract renewal re Service Agreement between Access One, and the Bolingbrook Park District.

*Debbie Chase, Director of Business and Technology said it is a three-year renewal. Our price for fiber is going down significantly, but the price for POTS lines just keeps going up. So far, the fiber discounts are over the POTS lines discount. Debbie said there will be multiple POTS line increases over the next few years and we will keep looking for solutions.*

#### **Buildings, Grounds, and Natural Resources**

Ordinance 22-02 an agreement with Kids Around The World in regard to removal of playground equipment at Sunset Park, Freedom Park and Winston Woods Park.

Resolution 22-14 awarding a contract in the amount of \$43,229.20 to Denler, Inc. of Joliet, IL for sealcoating 2022, (including Alternates #1 and #2).

*Chris Corbett, Superintendent of Projects and Planning said Alternates #1 and #2 are trails and Community Park.*

Resolution 22-15 awarding a contract in the amount of \$86,900.00 to Floors, Inc. of Woodstock, IL for BRAC Gym Flooring Surface Refinish 2022.

Resolution 22-16 awarding a contract in the amount of \$45,240.00 (under budget) to Tiles In Styles, LLC of South Holland, IL for Outdoor Pelican Harbor Bathhouse Flooring 2022.

---

---

### **Operational Updates**

Chris Corbett, Superintendent of Projects and Planning reported:

- Remington ball field lights delayed until early July.
- Playground updates – BGNR team removed playground equipment that Kids Around The World are not removing.
- Innovation will be out Monday morning to remove wood chips and start excavation. Going to start with Winston Woods.
- We have all the equipment for Winston Woods, Bradford and Community parks.
- Equipment for Freedom and Sunset parks will arrive in April.
- Benches are in!
- Indian Chase Meadows – part of the budget was to sports court color the roller hockey court, basketball, and tennis courts. After some research the district thought it was in their best interest to transform the roller hockey court to a dedicated 4 court pickle ball court.
- Prairie Trails and Indian Chase Meadows basketball and tennis courts will be lumped into one bid for sports court coloring. The bid is out and bid opening is March 31.

Kai Wahlgren, Director of Recreation distributed a flyer for Week of the Young Child. Wahlgren said this will take place in April with a week-long event celebrating the youth of the community and their families.

**Communication from the Public**

None

**New Business**

None

**Closed Session**

None

**Motion to Adjourn**

Commissioner Vastalo made a motion to adjourn from the Work Shop Meeting at 7:10pm. Second Commissioner Hix. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.

**Minutes Verification Signature**

---

**Bolingbrook Park District Board Secretary  
Jake McVey**

**BOLINGBROOK PARK DISTRICT**  
**Annerino Community Center – Board Room**  
**Board Meeting Minutes**  
**March 17, 2022**

Commissioner Vastalo called the meeting to order at 7:10pm. Roll call: Andrews, McKay, Hix, McVey, President Vastalo.

President Vastalo began the meeting with the Pledge of Allegiance.

Motion Commissioner Vastalo, second Commissioner Hix to approve the agenda. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.

Motion Commissioner Vastalo, second Commissioner Andrews to approve the following meetings:

- Monthly Work Shop Meeting Minutes of February 17, 2022
- Monthly Board Meeting Minutes of February 17, 2022

Roll Call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.

**Correspondence to the Board from Public**

None

**Comments from the Public at Meeting**

None

**Recognition of Staff**

President Vastalo acknowledged and read a Citation of Retirement for Dave Cluts of the Building and Grounds Department.

President Vastalo read and presented a Recognition of Service to Superintendent of Facilities John Chase.

John thanked the Board and extended his appreciation to Ron Oestreich for taking a chance on a part-time fitness trainer and giving him a challenge. John said he appreciates the opportunities and the challenge provided by Bolingbrook Park District.

**Attorney's Report**

No formal report

**Leadership Team Report**

Executive Director Oestreich turned the floor over to Sarah Sielisch who introduced Gwendolyn Fuesz the new Aquatic & Fitness Assistant Manager. Gwen comes to the park district from the Mundelein Park District where she has been the Aquatic Supervisor for 3 years. Gwen is Star Fish certified as an instructor/trainer and Star Fish certified as a level 2 instructor for lifeguarding. She is also certified as an Aquatic Facility Operator. Gwen's parents live in Sweden and she has a big cat named Simon. Sarah said Gwendolyn is going to bring so much to the aquatic and fitness programming.

Oestreich recognized the Brooks Middle School 7<sup>th</sup> and 8<sup>th</sup> grade Boys Basketball State Championships on their win.

Oestreich also recognized the Bolingbrook High School Lady Raiders State 3<sup>rd</sup> place and the Bolingbrook High School Men's basketball team State 4<sup>th</sup> place. The girls' volleyball team also made it to the State Elite 8 Tournament.

Oestreich announced on Saturday, May 7 the district will hold a ribbon cutting at Lily Cache Creek Bridge at Drafke Park at Noon followed by a fun event honoring the building and opening of Century Park around 12:30pm.

### **Treasurer's Report**

Commissioner Andrews made a motion for the approval of payment of bills including travel reimbursement in the \$602,448.92 subject to audit. Second Commissioner McVey. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.

### **Committee Reports**

**Administration and Personnel** – Commissioner Vastalo reported:

President Vastalo said all audits balanced.

**Finance and Technology** – Commissioner Hix reported:

*Commissioner Hix made a motion to approve Resolution 22-17 for a three-year contract renewal of the service agreement between Access One, Inc. and the Bolingbrook Park District. Second Commissioner McKay. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.*

Commissioner Hix said cash balances remain strong and projections look good. Tricia Dubiel, Superintendent of Business and Finance keeps modifying forms so we can get more information including the newly issued version of the monthly operations. Also, the district made some progress on our fund balances which is a multi-year project.

**Buildings, Grounds and Natural Resources** – Commissioner Andrews reported:

*Commissioner Andrews made a motion to approve Ordinance 22-02 approving an agreement with Kids Around The World in regard to removal of playground equipment at Sunset Park, Freedom Park and Winston Woods Park. Second Commissioner McKay. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.*

*Commissioner Andrews made a motion to approve Resolution 22-14 awarding a contract in the amount of \$43,229.20 to Denler, Inc. of Joliet, Illinois for Sealcoating 2022, (including Alternates #1 & #2). Second Commissioner McVey. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.*

*Commissioner Andrews made a motion to approve Resolution 22-15 awarding a contract in the amount of \$86,900.00 to Floors Inc. of Woodstock, Illinois for BRAC Gym Floor Surface Refinish 2022. Second Commissioner Hix. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.*

*Commissioner Andrews made a motion to approve Resolution 22-16 awarding a contract in the amount of \$45,240.00 to Tiles In Style, LLC of South Holland, Illinois for Outdoor Pelican Harbor Bathhouse Flooring 2022. Second Commissioner McKay. Roll call: Ayes: Andrews, McKay, Hix, McVey, President Vastalo. Nays: None. Absent: None. Motion passed 5/0.*



Working with the traditional spring weather of the Chicago Region, staff is starting to prep athletic fields for the spring athletic season.

Playground removals completed by BPD staff will be completed before the end of March at Winston Woods, Community, and Bradford Playgrounds.

The NRHT crews have been hard at work pruning and removing hazardous trees from our parks. They have also made great progress clearing invasive and weedy tree/shrub species from our natural areas along our trail system. Soon they will be beginning prescribed fires, turf repair, and preparing for the growing season.

## **Recreation & Facilities** – Commissioner McKay reported:

### ***Recreation***

Open Preschool Registration for 2022-2023 School Year begins on March 9. Families can enroll on-line or in person.

Early Childhood programs are running with good numbers and the February session has concluded with enrollment totaling 62 children. The 2<sup>nd</sup> winter session has begun and currently has 45 children enrolled for classes that start the last full week of February and end in March.

All details for the rebranding of the Dance Department are complete. Dance will begin to roll out the new logos and info in the next Newsletter.

DanceForce is planning to slowly reintroduce a dance company into the dance program. The first step in this process will take place this summer with a performance-based dance class that students ages 6-12 will be able to register for. Students will perform a couple times throughout the summer at various events, like the annual summer showcase, summer camp, and at any summer special events. This will help us gauge interest in a performance group and allow us to determine the appropriate next steps.

The Gymnastics Spring 1 session is underway and has 37 classes with 266 participants.

The Gymnastics Exhibition is back and scheduled for Saturday, June 25. The Gymnastics Exhibition gives participants the opportunity to showcase their skills and what they have learned for family and friends.

The Illusions Gymnastics Team participated in their 2<sup>nd</sup> meet of 2022 in Schaumburg on March 5-6. The teams did very well overall, here are the highlights.

- Journee O., Level 2, earned a high individual score of 9.7 on beam.
- Level 2: Abby B. and Malia W. received 9.0 or higher on all four events, earning them a spot in our 9.0 Club!
- Level 2: In the 8–9-year-old age group, Abby B. placed 1<sup>st</sup>, Zoe M. 2<sup>nd</sup>, Hailey L. 3<sup>rd</sup>.
- In the 10–11-year-old age group, Jaanvi V. placed 1<sup>st</sup>, Journee O. 2<sup>nd</sup>, Camila G. 3<sup>rd</sup> and Gianna K. 4<sup>th</sup>.
- In the 12–13-year-old age group, Malia W placed 1<sup>st</sup> place, Isabella G. 2<sup>nd</sup> place, Xia P. 4<sup>th</sup> place.
- The level 3's did well with all of them sticking their beam routines. Hayley T. placing 4<sup>th</sup> in her 8–9-year-old age group and Alexia J. received a 9.1 on floor.
- In the level 4 division Kylie V. placed 1<sup>st</sup> in her 13–14-year-old age group and Ayanna P. finished 5<sup>th</sup> in her 11–12-year-old age group and scored a 9.05 on beam.

Congratulations to three Ninja's that participated in the first Ninja Mission of the year. All of the ninjas were able to demonstrate the skills needed to advance to the next level. One ninja advanced from the Lil Ninja level to the White Ninja level and two White Ninja level participants advanced to the Yellow Ninja level.

Theatre will be having a Culver's fundraiser night on March 24 from 5-9pm. Stop by the Culvers on Bolingbrook Drive and mention the fundraiser for 15% of the proceeds will be donated to the BPD Theatre Program.

REACH enrollment is currently at 88 kids at Pioneer and 48 kids at Salk.

Martial Arts – Illinois Shotokan Karate classes have 166 enrolled in 20 programs. Tae Kwon Do has 25 enrolled in 2 classes. Current martial arts programs run through end of March. Spring session of TKD has 19 enrolled already.

Adult Volleyball & Basketball Leagues are mid-season. This is the first time getting an adult basketball league back going prior to 2019.

Registration is open for Men's Spring Flag Football and Spring/Summer Softball Leagues.

Registration is available online and in facility for Canyon Country (USA Desert Southwest) and Iceland's Magical Northern Lights. These two trips are being hosted by Collette Tours and will occur in October 2022 and March 2023 respectively.

Valley View 21<sup>st</sup> Century Community Learning Program - Staff is visiting all 10 schools each week to deliver programs on nature, science, crafting, sports, and dance. Students are enjoying the activities and feedback from school staff and administrators has been positive.

Staff is supporting a monthly series of family engagement nights exclusively for the school.

- March will bring Family Glow Night on Friday, March 18. Guests will enjoy music, dancing, glow art, glow sticks, and more.

Meijer is sponsoring the upcoming Flashlight Egg Hunt. Registration is full at 200 guests for this exciting night time event to be held at Winston Woods on Saturday, March 19.

### ***Fitness***

February recorded 36 new memberships during the month which was just 3 short of our projected number of 39. Year to date membership sales are slightly ahead of projection at 100 actuals vs. 98 projected.

Member visits to Lifestyles Fitness recorded 5,074 for the month of February which brought the average daily visit count to 181 visits.

Rockin' Red Zumba was held on February 18. This party was sold out with a max of 25 participants! Fun was had by all and members were happy to share this experience with staff and friends.

Lifestyles received its 2<sup>nd</sup> Free Motion Incline Trainer on Monday February 24. This is a nice addition to Lifestyles other incline trainer as these new pieces have become very popular with the membership base. Treadmills are currently scheduled for a June arrival.

### ***Aquatics***

Pelican Harbor has 1,025 Annual Aquatic Memberships as of February 28. Year to date sales are ahead of projection with 50 total memberships sold versus 20 projected.

Letters have been sent to eligible 2021 seasonal Pelican Harbor staff to return for the 2022 season. Initial response is strong and staff is looking forward to a great summer season. The positions are open online for new and returning summer seasonal staff to start applying.

Interviews for new seasonal staff will begin in March.

Staff is pleased to announce that Gwen Fuesz has accepted the role of Aquatic and Fitness Assistant Manager. Gwen began her responsibilities on February 21.

BHS is wrapping up their 2022 season and the coaches are promoting the Pelicans swim clinics in May and to the Summer Swim Team.

Pelican Harbor had a total of 239 participants register for swim lessons in February.

Pelican Harbor aggressively hired and trained new staff to build the team and move numerous participants who were on the waitlist to get them enrolled in a class.

Sneak peek for the April report, great news, March lessons have hit 322 participants. This number is actually higher than 2019 March swim lessons number.

The Pelicans Swim Team currently has 83 athletes enrolled.

The team's final Conference Meet will be held on March 20 in McHenry.

Pelican's Swim Team has started offering private swim team lessons with the Pelican Coaches. This is a new option that Pelican Harbor is trying out, after one week of the information being shared 4 participants have already signed up.

Parkies Egg Hunt is April 15 from 9:00am-11:00am. Staff is looking forward to another successful event.

**Marketing** – Commissioner McVey reported:

Pelican Passes are available for purchase beginning April 1. Promotions will switch to promoting daily swim admissions and open day in May. Those promotions include the use of radio, social media, direct mail through Clipper Magazine and more.

Dancers will see a new logo representing the overall Bolingbrook Park District dance program as we introduce the Bolingbrook Park District Dance Academy with the summer brochure. This modern logo represents the future of dance at the district. The unique design of the letter "a" represents the upward movement of the program and the fact that our program allows all dancers to progress as high as they would like while in our program. The color choices match the Danceforce logo, which will remain mostly the same with some minor tweaks. This is a great way to represent the history of the program.

There has been an increase in applications for Customer Care Representatives. The team is anticipating being able to bring our team back up to full capacity for summer. The current representatives have done a great job and we are looking forward to adding some more support.

**Golf Course & Ashbury's** – Commissioner McVey reported:

February Overall Revenue exceeded target by 20%. YTD is also above target by 10%.

Restaurant Food Revenue exceeded target by 3%, Restaurant Liquor Revenue exceeded target by 6% and Banquet Revenue exceeded target by 60%.

Like last month, the payroll was off, due to budget projection error for Kitchen Cook wages. This will cycle through during the busier summer months, resulting in an overall savings by end of third quarter.

**Upcoming Events:**

- Wine Tasting – Wednesday March 23
- Shamrock Shoot Out – Saturday, March 26

- Art Painting Class, Thursday, April 7
- Easter Brunch – Sunday, April 17

**NWCSRA - Commissioner McVey reported:**

Summer Camp locations are nearly finalized as NWCSRA has been working to secure locations in Valley View and Plainfield School Districts. The race to secure summer staff has begun. Recruitment and interviews for new summer staff has been underway for the past month. Candidates for summer employment have not been as plentiful as during previous years. Staff have been creative to utilize a variety of different advertising and recruitment methods to secure staff needed for this summer.

The NWCSRA Annual Golf Outing will be held on June 23 at Prairie Bluff Golf Course with a shotgun start at 11:30am. This year's outing will be conducted in partnership with Angelic Kindness. Excited to return to the course with the goal of increasing participation as COVID restrictions subside.

**Unfinished Business**

None

**Communications from the Public**

None

**New Business**

None

**Announcements**

Commissioner Vastalo welcomed Gwendolyn Fuesz and promised her a challenge.

**Closed Session**

President Vastalo made a motion to enter into Closed Session at 7:44pm pursuant to 5 ILCS 120/2 (c) for the purpose of discussing: (1) The employment, discipline and performance of specific employees and (11) Pending or probable litigation. Second Commissioner Andrews. Roll call: Ayes: Andrews, McKay, McVey, President Vastalo. Nays: None. Absent: Hix. Motion passed 4/0.

President Vastalo made a motion to adjourn from Closed Session at 7:46pm. Second Commissioner McKay. Roll call: Ayes: Andrews, McKay, McVey, President Vastalo. Nays: None. Absent: Hix. Motion passed 4/0.

**Motion to Adjourn**

President Vastalo made a motion to adjourn from the regular Board Meeting at 7:47pm. Second Commissioner McKay. Roll call: Ayes: Andrews, McKay, McVey, President Vastalo. Nays: None. Absent: Hix. Motion passed 4/0.

**Minutes Verification Signature**

---

**Bolingbrook Park District Board Secretary  
Jake McVey**

# ADMINISTRATION AND PERSONNEL

## ***Annexation of Property***

- Bolingbrook Park District was notified by the Village of Bolingbrook in March, 2022 of the annexation of property to the Village of Bolingbrook. This property is the 5.63acre Ed James Property (SE Corner of Veterans Parkway and Frontage Road) in Bolingbrook.

*Staff Recommendation: Approve Ordinance 22-03 annexing certain territory to the Bolingbrook Park District – Ed James Property (SE Corner of Veterans Parkway and Frontage Road. Bolingbrook, IL.*

## ***2022 All Staff Training***

- The 2022 All Staff Training will again be a virtual event. The Recognition and All Staff Committee is working diligently to create a fun and interactive event that will be viewed in smaller groupings of employees beginning in late May. Members of the Safety Committee are filming their respective training sessions as well. As part of the video, we will be recognizing our length of service recipients, our Susan Hoster-Suggs Award of Excellence recipient(s), and we will be kicking off summer with an inspirational message.

## ***Bolingbrook Park District Awarded the GFOA's Certificate of Achievement for Excellence in Financial Reporting***

- Board President Vastalo was notified that Bolingbrook Park District’s Annual comprehensive financial report for the fiscal year ended December 31, 2021 has been awarded the GFOA's Certificate of Achievement for Excellence in Financial Reporting. The Certificate of Achievement is the highest form of recognition in governmental accounting and financial reporting accomplishment by a government and its management. Congratulations to Debbie Chase, Tricia Dubiel, the Business Office Team, and the BPD Finance Committee on this achievement.

## ***Internal Audits***

<b>Cash Banks</b>	<b>Status</b>
Pelican Harbor Indoor	Balanced
<b>All Day Cash Drawer</b>	
BRAC	Balanced
<b>Inventory Audit</b>	
BRAC Pro Shop	Balanced

# FINANCE AND TECHNOLOGY

## Finance

### ***2021 Property Tax Extension***

- The 2021 Property Tax Extension report was received from the Will County Clerk's office in March. The District's overall Equalized Assessed Valuation (EAV) increased 2% to \$2,362,754,869 from \$2,315,461,164 in 2020. This represents our seventh year of increased EAV after six years of consecutive decreases, with an average EAV increase of 4%. With the EAV increase, the tax rate decreased to .4890 for the 2021 levy from .4913 for the 2020 levy. The 2021 anticipated property tax revenue reflects an increase of 2% or \$178,010.60 more than the 2020 extension.

### ***Comprehensive Annual Financial Report 2021***

- The auditors have completed final field work for the 2021 audit. Staff is now assisting with updating statistical information and writing the 2021 financial summary. The 2021 Annual Comprehensive Financial Report (ACFR) will be presented to the Board of Commissioners for approval at the June 16, 2022 Board meeting.

## Business and Technology

### ***GASB 87 Leases***

- Effective for fiscal year ending 12/31/2022 for audit workpapers finalized in March 2023, the team will be required to identify all agreements and contracts that fit lease criteria as defined in this standard for reporting.

### ***Vermont Systems Compass Session***

- Leadership at Vermont Systems at a Compass Session with the Operations Team to discuss the company's overall status, product development and future roadmap items for our recreation software, RecTrac. We found the meeting beneficial to better understand the direction of the company. The Operations Team did develop a list of questions that were submitted to Vermont Systems for further discussion. I am now in receipt of their responses and will be reviewing these with the team.

### ***Statistics***

- 170 journal entries processed
- 58 refunds processed
- 98 technology support tickets completed
- 13 business support tickets completed
- 5 new vendors created/5 vendors updated
- Replaced 6 TV's at Ashbury's
- 7 new user trainings

# BUILDINGS, GROUNDS & NATURAL RESOURCES

## Approvals

### ***Sport Court Surfacing 2022***

- The 2022 budget includes surfacing at both Indian Chase Meadows and Prairie Trails Parks sport courts. Bids to apply sport court surfacing went out to contractors on Monday, March 14.

On Thursday, March 31, (1) contractor submitted bids for the bid opening on Thursday, March 31. Five contractors were included in on the bid. Due to the nature of work, there are limited contractors that perform this type of work in the Chicagoland area. The low bid of \$29,430 was provided by Perm-a-Seal Asphalt Maintenance. Perm-a-Seal has completed similar work for the Park District in the past with excellent results. The work is scheduled to commence as early as June 20, but be completed no later than August 17 prior to start of school as both sites have schools located at the park.

#### Base Bid Summary

Perm-a-Seal \$29,430

*Staff Recommendation: Approve Resolution 22-18 awarding a contract in the amount of \$29,430.00 to Perm-A-Seal of South Holland, Illinois for Sport Court Surfacing 2022.*

### ***Hustler Mower Purchase***

- The 2022 Capital Asset Replacement Program includes the replacement of two 72” Cut Hustler mowers. Staff has determined that it is more beneficial to replace the two mowers with one 104” Cut model to meet the needs of the District. Through the Sourcewell joint purchasing contract the district will save \$8,305.00 off the retail price on the mower.

*Staff Recommendation: Approve the purchase of a 2022 Hustler Super 104 Kawasaki FX1000 EFI (38.5 hp) 104” Mower in the amount of \$24,914.00 to Hustler Turf of Hesston, Kansas.*

## **Buildings, Grounds, and Natural Resources Update**

### ***Arbor Day Tree Planting***

- Please join the Park District and the Bolingbrook Beautification Committee at the 2022 Arbor Day tree planting on Saturday, April 30, 2022 at 10:30am. Staff will be planting a Tulip Tree (*Liriodendron tulipifera*) at Central Park just west of the Tee Ball Fields.

### ***Concessions/Bathrooms Now Open***

- The weather has been cooperating enough for the Buildings team to start the opening of park concession stands and bathrooms. This means water has been turned on by our Building Technicians and bathrooms cleaned and stocked by our custodial staff, ready for use by our residents and athletic teams.

## ***Pelican Harbor Aquatic Park***

- The Buildings division is in preparation of Pelican Harbor outdoor pool opening. Water turned on to bathhouse, sweeping and power washing of leaves and winter debris in the empty pools, closing numerous amounts of valves that were left open to help prevent freezing during the winter months, preventative maintenance of pumps and motors, painting and gel coating of the drop slide. This is the very short list to make sure Pelican Harbor will be ready for summer opening on May 28, 2022.

## ***Spring Athletics Prep***

- Staff have been working hard on preparing athletic fields. Adult flag football and some soccer fields have been prepped and painted and play has started for the year. Working with the weather, all athletic fields will be available and ready for the start of all seasons the week of April 18.

## ***Parks/Playgrounds***

- Staff have been busy with graffiti clean-up the last few nice days while inspecting parks and playgrounds. Playground audits will be completed following the installation of the playgrounds at Winston Woods, Community and Bradford Parks.

## ***Natural Resources/Horticulture/Turf***

- The Natural Resources, Horticulture and Turf staff have wrapped up the spring controlled burn season and have been preparing for the growing season. This spring, the Natural Resource crew was able to burn 27.1 acres to help control invasive species and promote germination of native seed. The Turf crew has been focusing on repairing turf damage, seeding bare areas, and collecting garbage that wind had blown into our parks. The Horticulture crew has been meticulously updating our tree inventory and adding any parks that were not included in the 2020 inventory. All crews assisted in preparing the community gardens for their April 16 opening. They tilled all beds, added soil and repaired damage to raised beds. There are currently only 12 plots left available from the original 82. It should be a good garden season!

## ***Project Updates***

- Staff met with Upland Design on April 12 for concept review of the parking lot expansion project at Indian Boundary. Staff are anticipating plans going to Village for review in early May with project going out to bid in June. Construction is anticipated to start after Labor Day.
- Freedom & Sunset Parks are anticipated to start with removals mid-April. Playgrounds are tentatively scheduled to go out for delivery by the third week of April. Contractor will start installation at Freedom and finish at Sunset Park. Staff anticipate playgrounds to be installed at both parks by mid-June.
- Winston Woods Playground opens to the public officially on Friday, April 22 with the District's Earth Day event. Bradford Park is currently being built with anticipation for completion by mid-May. Community Park has been excavated and anticipated completion by end of May.
- Outdoor Pelican Harbor Bathhouse Flooring project started on Monday, April 11. Staff are anticipating completion by April 22.
- Outdoor Pelican Harbor Bathhouse Roll Door opener was updated to a power-driven operator from a manual opener to allow staff the ability to safely open and close facility. This allows for staff to activate an active shooter situation with remote access to open and close the door safely from the Admissions desk.



# RECREATION

## *Pre School / Early Childhood*

### *Preschool*

- Preschool Step-Up and Graduation Programs for 3's and 4's will take place at the end of May during class time.
- For the 2022-2023 school year, families can enroll on-line or in person for preschool. Information has been streamlined and marketing has assisted to create one promotional piece that is two pages and matches the information in the seasonal brochure. As of March 31, there are 87 children enrolled for 2022-2023 Preschool Program and 69 of the 87 enrollees were on-line.
- The 3<sup>rd</sup> Preschool Room construction plan is underway (old childcare room at BRAC) with the addition of a sink, counter top and upper and lower cabinets as well as updates to the bathroom, paint on walls, trim cleaned, windows frosted and installation of proper AV equipment. Project completion target is August 5.

### *Early Childhood*

- Early Childhood programs ran two sessions from January – March with a total of 107 enrollees. Spring session begins the first full week of April and enrollment numbers look just as promising as January and February enrollments.

## *Dance/Theatre*

### *Dance*

- The May Concert will be held at 2:00 pm on Sunday, May 22 at Bolingbrook High School. There are 134 dancers participating in our May Concert. Many of them for the first time. The theme for the concert is Revival. Tickets will be available beginning Monday, May 2 at <http://buy.tututix.com/BPD>. Tickets are \$7.00 each.
- Spring Powerdance classes begin April 4 with 20 enrolled at Pioneer and 5 enrolled at BJ Ward.
- The reintroduction of a dance company into the dance program has begun. The first step in this process will take place this summer with a performance-based dance class that students ages 6-12 will be able to register for. Students will perform a couple times throughout the summer (i.e. at theater's annual summer showcase, at summer camp, and summer special events). This will help gauge interest in a performance groups and allow staff to determine the appropriate next steps.

### *Theatre*

- Theatre's Culver's fundraiser night was held on March 24 from 5-9pm. The fundraiser was a success! \$104.30 was raised for the Theatre Department. Thank you to everyone who supported the program.
- The Dance Manager met with H2O Staff to find an alternative location to hold the May performances of Willy Wonka Kids. This will allow for a larger audience.

Three shows will be offered at the Bolingbrook Community Center (C-Wing)

- Friday, May 20 at 6:00 pm
- Saturday, May 21 at 6:00 pm
- Sunday, May 22 at 2:00 pm
- Tickets for the shows will go on sale Monday, May 2 online through our website and at both the BRAC and Annerino Community Center customer care desks.

## ***Gymnastics/Cheer/Ninja***

### ***New Manager of Gymnastics, Cheer, Ninja***

- The Recreation Team is excited to announce the hiring of long time Gymnastics Team Coordinator, Kirsten Lee as the full time Manager of Gymnastics, Cheer and Ninja. Kirsten has been with the park district for more than 15 years as a coach, instructor, and mentor to many gymnasts. Many of our current staff learned and competed under Kirsten's tenure. Kirsten will continue to coach the teams for the remainder of the season while she transitions into her new role. Kirsten began her new role on Monday, April 11.

### ***Gymnastics***

- The Spring 1 session is underway and has 35 classes with 265 participants. Spring 2 registration has begun and classes will begin in May.
- The Gymnastics Exhibition is back and scheduled for Saturday, June 25. The Gymnastics Exhibition gives participants the opportunity to showcase their skills and what they have learned for family and friends.

### ***Ninja***

- The Spring 1 session is underway and has 18 classes with 134 participants.
- The Ninja program continues to grow and level up Ninjas. Staff is excited to have two Yellow Ninja Level classes running with 11 participants total.

## ***REACH / Day Camp/ Enrichment***

### ***New Manager of REACH / Day Camp / Enrichment***

- The Recreation Team is excited to announce the hiring of Susan Meier as the new Manager of Day Camp, REACH and Enrichment Programs. Susan's experience has come full circle since interning with the Bolingbrook Park District in 2007. Susan has many years of program and event management experience with Walt Disney World Resort, Fox Valley Park District and most recent as the Assistant Customer Care Manager at the Bolingbrook Park District. Susan will begin her new role on Monday, April 18.

### ***REACH***

- The REACH Extended Care program continues to offer services at two locations for the Valley View School District. The current enrollment is 88 kids at Pioneer Elementary School and 50 kids at Jonas Salk Elementary school.

### ***Day Camp***

- Summer Day Camp plans are underway. Staff hiring of both returning staff and new staff is near completion. Day Camp will be held at the BRAC and will offer 10 weekly sessions. Registration for summer day camp is underway.

## ***Youth and Teen Programming***

### ***Youth Programming***

- Youth General Interest programs with two winter sessions (January – March) has 116 enrollees in Minecraft Engineering to Smart Start Art to Spanish to LEGO Robotics. Staff is looking forward to new program offerings for summer and co-opting with the Downers Grove and Woodridge Park Districts.

## *Teen Programming*

- Teen programming for the summer will include a Teen Night at Pelican Harbor, Teen Ax Throwing trip to Axplosion, and Teen Self Defense classes.

## *Enrichment Programming*

### *Valley View 21<sup>st</sup> Century Community Learning Program*

- Staff is visiting all 10 schools each week to deliver programs on nature, science, crafting, sports, and dance. Students are enjoying the activities and feedback from school staff and administrators has been positive.
- Family Glow Night on Friday, March 18 brought together 75 guests for a glowing good time with music, dancing, glow art, glow sticks, and more. This was the final family engagement night of the 2021-2022 school year.
- Planning is underway for summer expanded programming.

### *Meijer Family Program Series*

- The Meijer-sponsored Flashlight Egg Hunt was postponed twice due to inclement weather. We have pivoted away from egg events and now are hosting an Earth Day event to celebrate the new playground at Winston Woods.



# Week of the Young Child

April 24 - 29

FREE

We are celebrating children and their families with a week of FREE fun activities!

## SCHEDULE OF FREE EVENTS

DATE	ACTIVITY	LOCATION	TIME	CODE
Sunday, April 24	Tons of Trucks	Bolingbrook Recreation & Aquatic Complex	11:00 am-2:00 pm	Registration not required
Monday, April 25	Open Swim (ages 5 & under)	Pelican Harbor Indoor Aquatic Park	4:00-8:00 pm	Registration not required
Tuesday, April 26	★ Creative Movement Dance Class (ages 2-5 years)	Annerino Community Center	10:00-11:00 am	201130-B01
	Little Ninja's Open House (ages 3-6 years)	Annerino Community Center	1:00-2:00 pm	201-T01
	★ Preschool Gymnastics Open House (ages 3-6 years)	Annerino Community Center	5:30-6:15 pm	201-T02
Wednesday, April 27	★ Little Learners Sampler Class (ages 16 months-3 years)	Bolingbrook Recreation & Aquatic Complex	10:00-10:45 am	201130-B02
	Family Pound Fit (ages 2 years & up)	Bolingbrook Recreation & Aquatic Complex	4:00-4:45 pm	201-T03
	★ Science Time Sampler (ages 3 ½-5 years)	Bolingbrook Recreation & Aquatic Complex	5:00-5:45 pm	201130-B03
	Family Zumba (ages 2 years & up)	Bolingbrook Recreation & Aquatic Complex	6:00-6:45 pm	201-T04
Thursday, April 28	Day One Sports Sampler Open House (ages 3 & up)	Annerino Community Center	3:00-5:00 pm	201-T05
	Tae Kwon Do Open House (ages 3 & up)	Annerino Community Center	5:00-6:00 pm	201-T06
	Tae Kwon Do Open House (ages 3 & up)	Annerino Community Center	6:00-7:00 pm	201-T07
Friday, April 29	Family Movie Night - Sing 2	Volunteer Park South	7:45 pm	Registration not required

★ Limited enrollment. Registration required to participate.

# FACILITIES

## *Fitness*

### *Fitness Memberships*

- March recorded 55 new memberships and 93 renewals during the month which was 1 over projected number of 142 memberships. Year to date membership sales are slightly ahead of projection at 243 actual vs 240 projected.

### *Attendance*

- Member visits to Lifestyles Fitness recorded 5,801 for the month of February which brought the average daily visit count to 187 visits which is up 6 from last month.
- Group exercise classes recorded 2,216 visits for March. 38% of our total visits come from group fitness classes. The current schedule has 40 classes per week.

### *New Class Schedule*

- April will bring some exciting changes to the schedule. More to come next month on this!
  - Virtual classes recorded a total of 240 participants.
  - \$428 was brought in from group exercise drop ins. Staff will work on getting these participants into full time memberships.

### *Special Events*

- Lifestyles had its St Patrick's Day Ride on March 17. 14 participants attended and enjoyed this themed ride on St Patrick's Day!
- March Madness member challenge kicked off on March 17. Staff will be collecting all entries the week of April 4 to raffle off prizes to 5 lucky winners!
- This year's Parkie's 5K event will be held on Saturday, August 27 and will once again feature the Kids 100-yard dash at the conclusion of the race! Registration for the race opened on March 14 at <https://runsignup.com/Race/IL/Bolingbrook/Parkies5k> with 6 participants already registered. Staff is working on a new logo and will be ramping up promotional activities in the coming months! Sponsorships have been secured with Fountiandale Public Library, Meijer and Smoothie King.

# ***Aquatics***

## ***Operations***

- Lifeguard classes are starting to get summer employees certified and ready for opening day on Saturday, May 28.
- Pelican Harbor staff continues to hire for summer seasonal employees. Numbers are looking great for the 2022 season.

## ***Rentals, and Memberships***

- Birthday Parties and Private Rentals total for January:
  - Birthday Parties: 33 parties / 777 participants paid
  - Private Rentals: 11 rentals / 568 participants paid
  - Groups: 4 groups / 93 participants paid
- Pelican Harbor Annual Aquatic Memberships predicted 50 new memberships for the month of March and received 114.

## ***Swim Lessons***

- Pelican Harbor had a total of 319 participants register for swim lessons in March.
- Pelican Harbor aggressively hired and trained new staff to build the team and move numerous participants who were on the waitlist to get them enrolled in a class.

## ***Swim Team***

- Pelican's Swim Team has started offering private swim team lessons with the Pelican Coaches.
- Pelicans will start swim team clinics in May.
- The Pelicans summer team will start back up again June 6- July 31.

# ***Athletics***

## ***Youth Athletics & Martial Arts***

- Day 1 Sports Academy spring session 2 has 127 enrolled in 17 programs. Additional staff need to be hired or some programs will have to be cancelled. Martial Arts – 141 enrolled with registration still open for spring session.

## ***Adult Athletics***

- Winter/Spring adult volleyball league is concluding with the final night of playoffs on April 14. This year is the first for adult basketball leagues, it was and continues a successful league with a start of 6 teams. Basketball league is on Wednesday nights and starts playoffs on April 20, concluding the season on May 5.
- Spring adult athletics are underway with flag football which started the week of March 27. Adult Softball is in planning stages and scheduled to begin the week of April 18.
  - Volleyball League – 26 teams
  - Basketball League – 6 teams
  - Flag Football League – 9 teams

# ***Adult Trips***

## ***March Trips***

- Staff hosted three-day trips in March:
  - March 2: South Bend Chocolate Factory and Notre Dame Tour
  - March 19: A Night with Killer Queen at the Paramount Theater
  - March 29: A Tribute to Lionel Richie

## ***Italy Trip***

- Twenty-one guests visited Italy for an amazing historical and sightseeing tour of Rome and the Amalfi Coast. The group visited the famous Trevi Fountain, Colosseum, Piazza Navona, Spanish Steps, ruins of Pompeii, Isle of Capri, learned how pasta and limoncello are made, enjoyed lunch at a family owned winery, and more.

## ***Upcoming Trips***

- Rock of Ages Show at Paramount Theatre - May 4
- Holland, Michigan Tulip Festival - May 11
- Registration is available online and in facility for Canyon Country (USA Desert Southwest) and Iceland's Magical Northern Lights. These two trips are being hosted by Collette Tours and will occur in October 2022 and March 2023 respectively.

# MARKETING AND CUSTOMER CARE

## ***Domino's Re-Signs on as Exclusive Pizza Provider for Birthday Parties Again!***

- Domino's Pizza has signed a partnership agreement to continue to be the exclusive pizza provider for all birthday parties at Bolingbrook Park District. The agreement includes \$4,000 for the exclusive partnership and an additional \$700 to go towards covering paper goods costs for parties. The agreement is effective April 1, 2022-March 31, 2023. The team has an excellent working relationship with Domino's and is looking forward to continuing our partnership.

## ***S&T Too Partners with Bolingbrook Park District on Summer Parks Challenge***

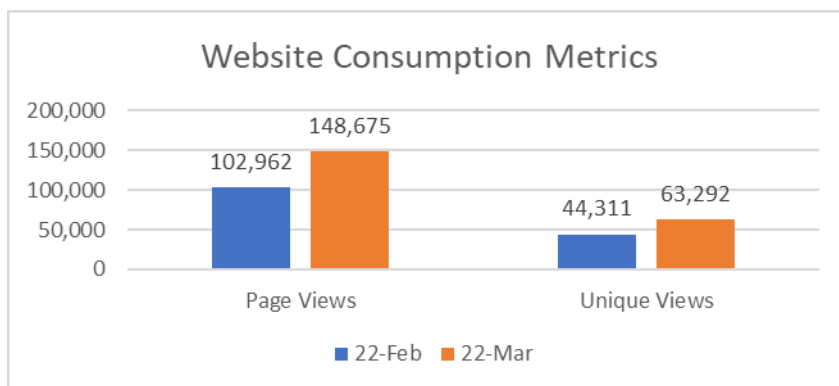
- Bolingbrook Park District will feature the Summer Parks Challenge again this year with a little twist. S&T Too has agreed to provide each family who completes the parks challenge with a free Pizza Setup. Families will still have a map of parks to visit throughout the summer. Once they complete the challenge, they can pick up their pizza voucher. Families are encouraged to post photos of themselves making their pizzas on social media while tagging the Bolingbrook Park District and S&T Too. Final winners will be selected off of the social posts. The winners will receive a park district gift card or an S&T Too gift card. We are excited to work with one of Bolingbrook newest businesses on this project.

## ***New Part-time Graphic Designer/Marketing Assistant Hired***

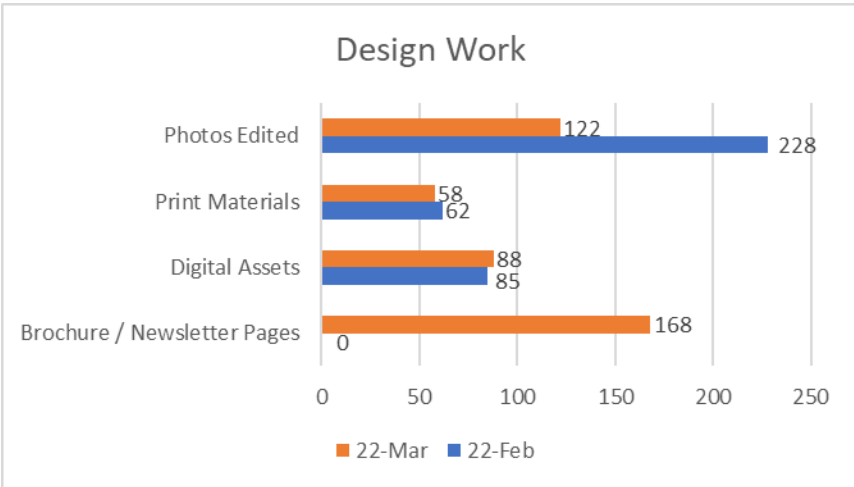
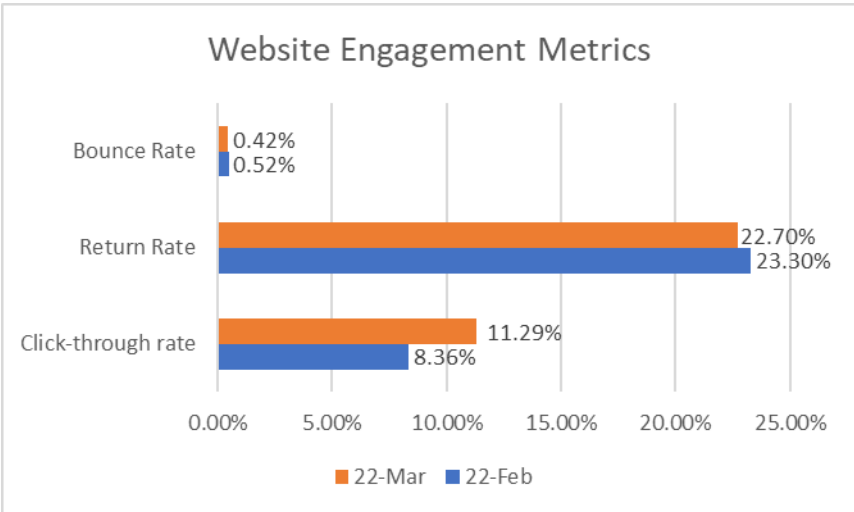
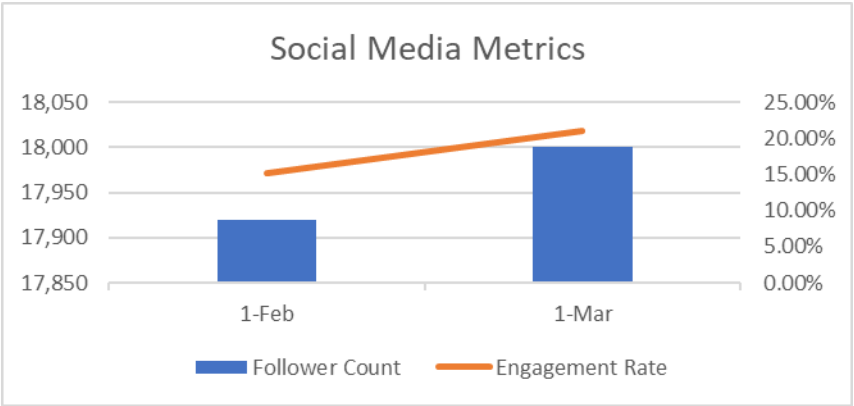
- Kristin Maksymiw has been hired as the new part-time graphic designer/marketing assistant. She has served as a faculty member for The School of the Art Institute of Chicago since 2007. She also was the Graphic Designer for First & Main, Inc. specializing in catalog management, production and design. Kristin's first day will April 20.

## ***March 2022 Content Marketing Data***

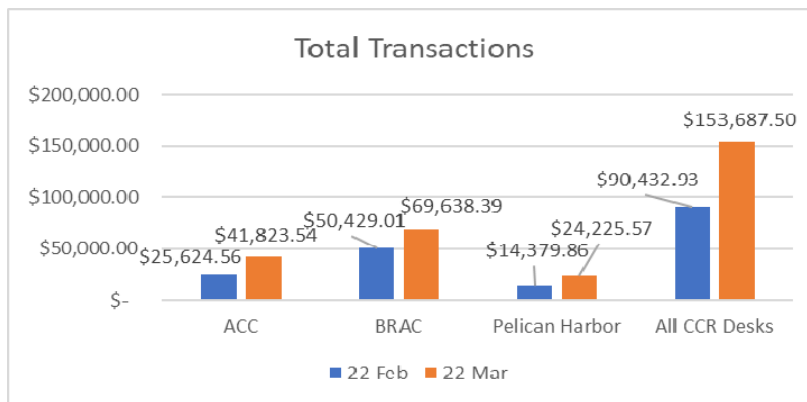
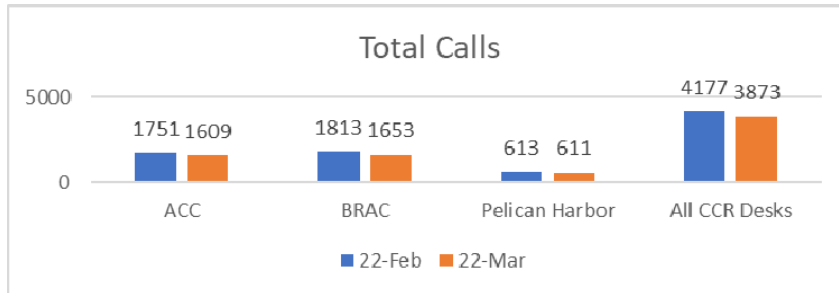
- As expected, our pages views and unique views saw a jump in March as the second session of spring began. Our click-through rate jumped to 11.29%.
- Our content marketing emails continue to see great open rates that average 6% over industry average. Our overall email subscriber churn rate continues to remain low at 0.30%.







## Customer Care Data





# Bolingbrook's Day of Play!

**Celebrating the opening of the Lily Cache Creek  
Pathway Bridge Project and Century Park!**

## Saturday, May 7

**Lily Cache Creek Pathway  
Bridge Project Ribbon Cutting**  
12:00 pm  
Drafke Park - 1125 Quail Run

**Century Park Celebration**  
12:30-1:30 pm  
1675 Apple Valley Drive

*Games, prizes, music and free ice cream sponsored  
by the Foundation for Bolingbrook Parks during  
the Century Park Celebration!*

# BOUGHTON RIDGE GOLF COURSE & ASHBURYS



2022	2022	2022				YTD	YTD		Prior Year	2022 vs.
March Preliminary	Month Actual	Month Budget	Var	%		2022 Actual	2022 Budget	%	2021	2021 Actual
Golf Greens Fees Revenue	\$10,735	\$11,167	-432	-4.0%		\$10,807	\$15,031	-39.1%	\$20,927	-93.6%
Golf League Revenue	\$0	\$0	0			\$0	\$0		\$0	
Riding Cart Revenue	\$0	\$1,249	-1,249			\$0	\$1,262		\$2,047	
Pro Shop Revenue	\$918	\$600	318	34.6%		\$1,033	\$600	41.9%	\$843	18.4%
Restaurant Food Revenue	\$22,701	\$14,129	8,572	37.8%		\$40,224	\$32,623	18.9%	\$17,032	57.7%
Restaurant Liquor Revenue	\$15,716	\$13,314	2,402	15.3%		\$35,612	\$33,429	6.1%	\$15,577	56.3%
Food and Bev Event Revenue	\$2,030	\$2,000	30	1.5%		\$7,749	\$5,500	29.0%	\$3,375	56.4%
Banquet Revenue (Food and Bev)	\$10,418	\$7,020	3,398	32.6%		\$27,031	\$14,040	48.1%	\$2,195	91.9%
<b>Total Revenue (after comps)</b>	<b>\$63,029</b>	<b>\$50,951</b>	<b>12,078</b>	<b>19.2%</b>		<b>\$122,547</b>	<b>\$104,729</b>	<b>14.5%</b>	<b>\$68,754</b>	<b>43.9%</b>
Payroll Expense	\$37,520	\$28,264	9,256	24.7%		\$105,517	\$74,025	29.8%	62,188	41.1%
Est. Food and Bev COGS	43.0%	33.0%	7.0%	7.0%		42.0%	32.0%	10.0%	44%	14.0%
Est. OPEX (Operating Expense)	\$40,000	\$45,467	-5,467	-13.7%		\$126,700	\$131,915	-4.1%	112,254	11.4%

## Operational Revenue

- March Overall Revenue exceeded target by 19%. YTD is also above target by 14.5%.
- March Greens Fee Revenue missed target by 4%, which is good considering the wet weather we experienced.
- March Food Revenue exceeded target by 38%. YTD is also above target by 19%.
- March Beverage Revenue exceeded target by 15%. YTD is also above target by 6%.
- March Banquet Revenue exceeded target by 33%. YTD is also above target by 48%.

## Operational Expenses

- Operational expenses are projected at a savings of 13%.
- Payroll is over by 24%, which will also cycle through by year end.

**Spring into Spring  
Supper Club**  
Saturday, April 23<sup>rd</sup>

Arrival: 5:30 pm - 1st course: 6:00 pm  
\$36 per person. Includes tax and a glass of wine.  
Additional drinks, beverages and gratuity not included.

**Menu**  
Baked Stuffed Mushrooms  
Fennel & Chick Pea Salad with Lemon and Dill  
Chopping - a zesty fish and shellfish stew made with tomatoes and white wine  
Ashburys Remise Cordon  
Soft Drinks, Coffee and Tea

Reservations required, book online at: <https://bit.ly/AshburyEvents>

© 2021 Ashburys  
1000 Boughton Rd. | 708-399-9777 | [info@ashburys.com](mailto:info@ashburys.com)

**Paint Your Pet**  
Wednesday, May 4<sup>th</sup>  
6:00 pm

Paint a portrait of your pet at Ashburys!

\$39 per person includes all materials, an appetizer plate, and a glass of house wine.

Register online, then text a photo of your pet to the studio at (708) 400-9977. When you arrive we'll have a canvas waiting for you with an outline of your pet and artists on hand to help you create your masterpiece. Photos MUST be received no later than April 20th.

Reservations required, book online at: <https://bit.ly/AshburyEvents>

**Ashburys**



### ***NWCSRA Summer Day Camp***

- NWCSRA Summer and Day Camp brochures have been released. Registration is in full swing for camp. Families appear eager to return to camp this summer. Participant registrations are at 60% of last year's participation level after the first three days.
- There were several challenges to setting up locations for day camp this summer due to multiple changes in construction projects with local school districts throughout the process of finalizing sites. As a result, plans changed from multiple locations (Valley View and Plainfield School Districts) to single location in Plainfield School District utilizing multiple areas within the facility. This has produced a net increase on transportation need, which may offset with reduced need for camp supervisory staff.
- Recruitment and interviews for new summer staff have been extremely productive as extra recruitment efforts have proved to be successful. Candidates for employment have not been as plentiful as during previous years. Staff have been creative to utilize a variety of different advertising and recruitment methods to secure staff needed for this summer.

### ***Survey Results***

- Campfire Concepts released final draft of NWCSRA Qualitative Research Study. Four different focus groups (Board, Staff, Participants/Families, and Community Stakeholders) were interviewed to explore NWCSRA resident and user opinions, interests, needs, desires and value of NWCSRA's programs and services as well as how these relate to board, staff and community stakeholder expectations.
- The main themes that emerged in the process were the Impacts of COVID-19 Pandemic, Opportunities and Concerns with NWCSRA and LCSRA merge, Communication, and Outreach & Community Partners. NWCSRA staff have received and discussed the report and have prepared a response, which describes the path towards addressing concerns raised and plans of action for future program and organizational growth.

### ***2022/2023 Draft Budget***

- The NWCSRA team presented the NWCSRA FY2022/23 draft budget to the NWCSRA Board of Directors at the March 23 meeting. A few minor items have been adjusted as a result of discussion. The final approval/adoption is set for the April 27 Board of Directors meeting.

### ***Annual Golf Outing***

- The NWCSRA Annual Golf Outing will be held on June 23 at Prairie Bluff Golf Course with a shotgun start at 11:30am. This year's outing will be conducted in partnership with Angelic Kindness. Registration and sponsorship is off to an early start. All four of our member agencies will have participation as well as many local agencies and community leaders. Excited to return to the course with the goal of increasing participation as COVID restrictions subside.

Bolingbrook Park District  
Fund Summary  
As of March 31, 2022

	Revenue			Expense			Surplus/(Deficit)		
	Budget	Actual	Variance	Budget	Actual	Variance	Budget	Actual	Variance
<b>Major Operating Funds</b>									
General	389,119	435,349	46,230	1,546,704	1,428,511	(118,193)	(1,157,585)	(993,162)	164,423
Recreation	624,055	712,753	88,698	1,149,984	1,111,205	(38,779)	(525,929)	(398,452)	127,477
* Golf Course	53,660	59,600	5,940	181,015	205,932	24,917	(127,355)	(146,332)	(18,977)
<b>Major Operating Funds</b>	<b>1,066,834</b>	<b>1,207,702</b>	<b>140,868</b>	<b>2,877,703</b>	<b>2,745,648</b>	<b>(132,055)</b>	<b>(1,810,869)</b>	<b>(1,537,946)</b>	<b>272,923</b>
<b>NonMajor Operating Funds</b>									
Museum	58,595	304	(58,291)	204,650	205,775	1,125	(146,055)	(205,471)	(59,416)
Special Recreation	-	15,768	15,768	336	50,477	50,141	(336)	(34,709)	(34,373)
Audit	-	2	2	22,590	8,100	(14,490)	(22,590)	(8,098)	14,492
Insurance/Worker's Comp	-	11	11	72,195	65,341	(6,854)	(72,195)	(65,330)	6,865
IMRF	-	9	9	77,769	62,099	(15,670)	(77,769)	(62,090)	15,679
Social Security	-	16	16	103,988	80,512	(23,476)	(103,988)	(80,496)	23,492
Paving & Lighting	-	1	1	-	8,615	8,615	-	(8,614)	(8,614)
Police	-	1	1	-	-	-	-	1	1
<b>Nonmajor Operating Funds</b>	<b>58,595</b>	<b>16,112</b>	<b>(42,483)</b>	<b>481,528</b>	<b>480,919</b>	<b>(609)</b>	<b>(422,933)</b>	<b>(464,807)</b>	<b>(41,874)</b>
<b>Specialized Funds</b>									
Capital	192,022	126,276	(65,746)	671,402	387,270	(284,132)	(479,380)	(260,994)	218,386
Debt	1,001,094	1,001,273	179	636	10,716	10,080	1,000,458	990,557	(9,901)
Working Cash	3	7	4	-	-	-	3	7	4
<b>All Funds Total</b>	<b>2,318,548</b>	<b>2,351,370</b>	<b>32,822</b>	<b>4,031,269</b>	<b>3,624,553</b>	<b>(406,716)</b>	<b>(1,712,721)</b>	<b>(1,273,183)</b>	<b>439,538</b>

\* Golf Course performance as of prior month end due to the timing of Kemper's month end close.

MINUTES OF a Regular meeting of the Board of Park Commissioners of the Bolingbrook Park District, Will County, Illinois, Held at the Recreational Center, 201 Recreation Drive, Bolingbrook, Illinois, within Said District, at 7:00 P.M. on Thursday, April 21, 2022

The President called the meeting to order and directed the Secretary to call the roll.

Upon the roll being called, \_\_\_\_\_, the President, and the following Park Commissioners answered present: \_\_\_\_\_

\_\_\_\_\_.

The following Park Commissioners were absent \_\_\_\_\_

\_\_\_\_\_.

Park Commissioner \_\_\_\_\_ presented and the Secretary read in full the following: **ORDINANCE NO. 22-03**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY TO THE BOLINGBROOK PARK DISTRICT**

**PIN #'s: 12-02-21-300-003-0000 & 12-02-28-100-021-0000**

**PREPARED BY & MAIL TO: TRESSLER LLP  
550 EAST BOUGHTON ROAD  
SUITE 250  
BOLINGBROOK, IL 60440**

**MAIL TO: RON OESTREICH, EXECUTIVE DIRECTOR  
BOLINGBROOK PARK DISTRICT  
201 RECREATION DRIVE  
BOLINGBROOK, IL 60440**

**ORDINANCE NO. 22-03**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY TO THE BOLINGBROOK PARK DISTRICT**

**WHEREAS**, the Bolingbrook Park District (the “Park District”) is a duly organized unit of local government organized and operating under the Constitution and laws of the State of Illinois; and

**WHEREAS**, on or around February 22, the Mayor and Board of Trustees of the Village of Bolingbrook, by Ordinance No. 22-015, annexed the territory legally described on Exhibit A attached hereto and made a part hereof (the “Subject Territory”); and

**WHEREAS**, the Bolingbrook Park District (“Park District”) will become nearly coterminous with the Village of Bolingbrook upon the annexation of the Subject-Territory; and

**WHEREAS**, the Subject Territory is not within the corporate limits of any park district, but is contiguous to the Bolingbrook Park District; and

**WHEREAS**, the Park District is authorized to annex additional property according to Section 3-10 of the Illinois Park District Code (70 ILCS 1205/3-10); and

**WHEREAS**, it is in the best interest of the Park District that the Subject Territory be annexed;

**WHEREAS**, the Board of Park Commissioners finds and hereby declares that it is in the best interests of the Park District to approve the annexation, attached hereto as Exhibit A.

**NOW, THEREFORE**, BE IT ORDAINED BY THE BOARD OF PARK COMMISSIONERS OF THE BOLINGBROOK PARK DISTRICT, WILL COUNTY, ILLINOIS, AS FOLLOWS:

**SECTION ONE:** The recitals set forth hereinabove shall be and are hereby incorporated as findings as if said recitals were fully set forth within this Section One.

**SECTION TWO:** The Subject Property, which is legally described in Exhibit A attached hereto, is hereby annexed to the Bolingbrook Park District.

**SECTION THREE:** That the Bolingbrook Park District is hereby directed to record with the Recorder of Deeds and to file with the County Clerk a certified copy of this Ordinance together with an accurate map of the territory hereby annexed said map being attached hereto as Exhibit A and made a part hereof.

**SECTION FOUR:** Any and all policies, resolutions or ordinances of the Park District which may conflict with this ordinance shall be, and they are hereby, repealed.

**SECTION FIVE:** This ordinance shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED THIS 21<sup>st</sup> day of April, 2022.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

APPROVED THIS 21<sup>st</sup> day of April, 2022.

\_\_\_\_\_  
President, Board of Park Commissioners

ATTEST:

\_\_\_\_\_  
Secretary, Board of Park Commissioners

JMO/og/4.21.22



Park Commissioner \_\_\_\_\_ moved and Park Commissioner \_\_\_\_\_ seconded the motion that the ordinance as read be approved. After a full discussion thereof, the following Park Commissioners voted:

AYE: \_\_\_\_\_

NAY: \_\_\_\_\_

ABSENT: \_\_\_\_\_

Whereupon the President declared the motion carried and the ordinance adopted, approved and signed the same in open meeting, and directed the Secretary to record same in the records of the Board of Park Commissioners of the Bolingbrook Park District, Will County, Illinois, which was done.

Other business not related to the passage of this ordinance was duly transacted at the meeting.

Upon motion duly made and seconded, the meeting was adjourned.

\_\_\_\_\_  
Secretary, Board of Park Commissioners  
Bolingbrook Park District  
Will County, Illinois

STATE OF ILLINOIS            )  
  ) SS.  
COUNTY OF WILL            )

I, the undersigned, do hereby certify that I am the duly qualified and acting Secretary of the Board of Park Commissioners (the "Board") of the Bolingbrook Park District, Will County, Illinois (the "District"), and as such official I am the keeper of the records and files of the Board of Park Commissioners of said Park District.

I further certify that the foregoing is a full, true and complete transcript of that portion of the minutes of the meeting of said Board held on the 21<sup>st</sup> day of April, 2022, insofar as same relate to the adoption of the following: **ORDINANCE 22-03**

**AN ORDINANCE ANNEXING CERTAIN TERRITORY TO THE BOLINGBROOK PARK DISTRICT**

a true, correct and complete copy of which ordinance as adopted at said meeting appears in the foregoing transcript of the minutes of said meeting.

I do further certify that the deliberations of the members of the Board of Park Commissioners on the adoption of said ordinance were conducted openly, that the vote on the adoption of said ordinance was taken openly, that said meeting was called and held at a specified time and place convenient to the public, that notice of said meeting was duly given to all news media requesting such notice, that an agenda for said meeting was posted at the location where said meeting was held and at the principal office of the Board at least 48 hours in advance of the holding of said meeting, that said meeting was called and held in strict compliance with the provisions of "AN ACT in Relation to Meetings," approved July 11, 1957, as amended (the "Open Meetings Act"), and with the provisions of the Park District Code of the State of Illinois, as amended, and that the Board has complied with all of the provisions of said Act and said Code and with all of the procedural rules of the Board in the passage of said ordinance.

IN WITNESS WHEREOF I hereunto affix my official signature at Bolingbrook, Illinois, this 21<sup>st</sup> day of April, 2022.

---

Secretary, Board of Park Commissioners  
Bolingbrook Park District  
Will County, Illinois

## EXHIBIT A

PUBLISHED IN PAMPHLET FORM FOR THE FOLLOWING:

R2022019259

KAREN A. STUKEL  
WILL COUNTY RECORDER  
RECORDED ON  
03/03/2022 12:59:18 PM  
REC FEE: 62.00  
IL RENTAL HSNQ:  
PAGES: 47  
MKE

**ORDINANCE 22-015**

TITLED:

**APPROVING ANNEXATION AGREEMENT – CHICAGO TITLE LAND TRUST COMPANY, AS TRUSTEE AND AS SUCCESSOR TO NORTH STAR TRUST COMPANY, SUCCESSOR TO HARRIS BANK, SUCCESSOR TO FIRST NATIONAL BANK OF JOLIET, UNDER A TRUST AGREEMENT DATED OCTOBER 21, 1979 AND KNOWN AS TRUST NUMBER 1689, AND MIDLAND STATES BANK, AS TRUSTEE UNDER THE TRUST AGREEMENT DATED DECEMBER 18, 2012 AND KNOWN AS TRUST NUMBER 1901 (HEREINAFTER “ED JAMES PROPERTY”) (SE CORNER OF VETERANS PARKWAY AND FRONTAGE ROAD)**

VILLAGE CLERK  
VILLAGE OF BOLINGBROOK

PIN # 12-02-21-300-003-0000 & 12-02-28-100-021-0000

PREPARED BY & MAIL TO:  
VILLAGE CLERK'S OFFICE  
VILLAGE OF BOLINGBROOK  
375 W. BRIARCLIFF RD.  
BOLINGBROOK, IL 60440

ORDINANCE 22-015

**APPROVING ANNEXATION AGREEMENT – CHICAGO TITLE LAND TRUST COMPANY, AS TRUSTEE AND AS SUCCESSOR TO NORTH STAR TRUST COMPANY, SUCCESSOR TO HARRIS BANK, SUCCESSOR TO FIRST NATIONAL BANK OF JOLIET, UNDER A TRUST AGREEMENT DATED OCTOBER 21, 1979 AND KNOWN AS TRUST NUMBER 1689, AND MIDLAND STATES BANK, AS TRUSTEE UNDER THE TRUST AGREEMENT DATED DECEMBER 18, 2012 AND KNOWN AS TRUST NUMBER 1901 (HEREINAFTER “ED JAMES PROPERTY”) (SE CORNER OF VETERANS PARKWAY AND FRONTAGE ROAD).**

WHEREAS, CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689 and Midland States Bank, as Trustee under the Trust Agreement Dated December 18, 2012 and known as Trust Number 1901, by HENRY E. JAMES, Holder of the Power of Direction and Beneficial Interest of the Land Trust (hereinafter referred to as the “Owners”), the record owners of the properties comprising approximately +/-5.63 Acres located at the southeast corner of Veterans Parkway and Frontage Road (hereinafter referred to as the "Subject Properties"), and the Village of Bolingbrook wish to enter into a binding agreement with respect to annexation, zoning and development of the Subject Properties, and to other related matters, pursuant to the provisions of 65 ILCS 5/11-15.1-1 et seq., upon the terms and conditions contained in said agreement; and

WHEREAS, an annexation petition has been filed by the Owners of the Subject Properties; and

WHEREAS, said annexation petition has been executed by the electors, if any, who reside on the Subject Properties; and

WHEREAS, the Subject Properties are contiguous to the Village, and none of said properties are presently within the corporate limits of any other municipality; and

WHEREAS, all public hearings as required by law have been held by the different departments, commissions, boards, and other governmental bodies of the Village, and each has submitted various reports and recommendations, or both, required of them; and

WHEREAS, the annexation of the Subject Properties to the Village will be beneficial to the Village, will properly and beneficially extend the corporate limits and the jurisdiction of the Village, will permit the sound planning and development of the Village, and will otherwise promote the proper growth and general welfare of the Village; and

WHEREAS, the Mayor and Board of Trustees of the Village of Bolingbrook find that the zoning and development of the Subject Properties as proposed in said Annexation Agreement will be beneficial to the Village and that it is in the best interests of the Village to enter into said Annexation Agreement;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF BOLINGBROOK, WILL AND DU PAGE COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION ONE: The Mayor and Board of Trustees find as facts the recitals hereinabove set forth.

SECTION TWO: The Annexation Agreement attached hereto as Exhibit 1 shall be and is hereby approved, and the Mayor is hereby authorized and directed to execute, and the Village Clerk is hereby authorized and directed to attest, said Annexation Agreement in substantially the form attached hereto as Exhibit 1.

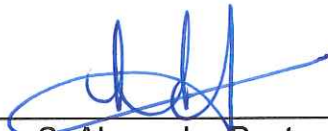
SECTION THREE: This parties agree to dismiss all pending litigation regarding the subject properties and, further agree not to challenge the validity of the annexation by the Village of Commonwealth Edison properties (Ord. 19-068) in the future. Each party shall be responsible for their own attorney fees. The Mayor is hereby authorized to execute the Settlement Agreement attached hereto as Exhibit 2 on behalf of the Village.

SECTION FOUR: This Ordinance shall be in full force and effect from and after its passage, by a vote of at least two-thirds of the corporate authorities now holding office, and approval in the manner provided by law.

PASSED THIS 22<sup>nd</sup> DAY OF FEBRUARY, 2022.

AYES:	5	Carpanzano, Doris, Kelly, Lawler, Watts
NAYS:	0	None
ABSENT:	1	Zarate
ABSTENTIONS:	0	None

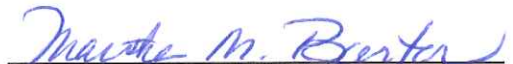
APPROVED THIS 22<sup>nd</sup> DAY OF FEBRUARY, 2022.



---

Mary S. Alexander-Basta  
MAYOR

ATTEST:



---

Martha M. Barton  
VILLAGE CLERK

PUBLISHED BY THE VILLAGE CLERK, IN PAMPHLET FORM, BY AUTHORITY OF THE CORPORATE AUTHORITIES OF THE VILLAGE OF BOLINGBROOK ON FEBRUARY 23, 2022.

STATE OF ILLINOIS)  
COUNTIES OF WILL) SS  
AND DUPAGE )

I, Martha M. Barton, certify that I am the duly elected and acting Village Clerk of the Village of Bolingbrook, Will and DuPage Counties, Illinois.

I further certify that on February 22, 2022, the Corporate Authorities of such municipality passed and approved Ordinance 22-015 entitled:

**APPROVING ANNEXATION AGREEMENT – CHICAGO TITLE LAND TRUST COMPANY, AS TRUSTEE AND AS SUCCESSOR TO NORTH STAR TRUST COMPANY, SUCCESSOR TO HARRIS BANK, SUCCESSOR TO FIRST NATIONAL BANK OF JOLIET, UNDER A TRUST AGREEMENT DATED OCTOBER 21, 1979 AND KNOWN AS TRUST NUMBER 1689, AND MIDLAND STATES BANK, AS TRUSTEE UNDER THE TRUST AGREEMENT DATED DECEMBER 18, 2012 AND KNOWN AS TRUST NUMBER 1901 (HEREINAFTER “ED JAMES PROPERTY” (SE CORNER OF VETERANS PARKWAY AND FRONTAGE ROAD)**

The pamphlet form of Ordinance 22-015 including the Ordinance and a cover sheet, thereof, was prepared on February 22, 2022. Copies of such Ordinance are available for public inspection upon request in the office of the Village Clerk.

DATED at Bolingbrook, Illinois, this 23<sup>rd</sup> day of February, 2022.



*Martha M. Barton*

Martha M. Barton,  
VILLAGE CLERK



**EXHIBIT 1 TO ORDINANCE NO. 22-015**

**ANNEXATION AGREEMENT**

THIS AGREEMENT made and entered into this 22nd day of February, 2022 between the Village of Bolingbrook, an Illinois municipal corporation, located in Will and DuPage Counties, Illinois (hereinafter referred to as the "Village"), and CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689, and Midland States Bank, as Trustee under the Trust Agreement Dated December 18, 2012 and known as Trust Number 1901 by HENRY E. JAMES, Holder of the Powers of Direction and Owner of the Beneficial Interest in the Land Trusts (hereinafter referred to as "Owners").

**WITNESSETH:**

WHEREAS, the Owners are the owners of the properties legally described in Exhibit A attached hereto and made a part hereof (hereinafter referred to as the "Subject Properties"), which properties are subject to this Annexation Agreement; and

WHEREAS, the corporate authorities of the Village have considered the annexation of the Subject Properties; and

WHEREAS, the Subject Properties consist of approximately +/-5.63 Acres and are presently contiguous to the Village, and none of said properties are presently within the corporate limits of any other municipality; and

WHEREAS, the parties wish to enter into a binding agreement with respect to said annexation, zoning and development, and to other related matters, pursuant to the provisions of

Division 15.1 of Article Eleven of Chapter 65 of the Illinois Compiled Statutes, upon the terms and conditions contained in this Agreement; and

WHEREAS, all public hearings as required by law have been held by the different departments, commissions, boards, and other governmental bodies of the Village, and each has submitted various reports and recommendations, or both, required of them; and

WHEREAS, the annexation of the Subject Properties to the Village will be beneficial to the Village, will properly and beneficially extend the corporate limits and the jurisdiction of the Village, will permit the sound planning and development of the Village, and will otherwise promote the proper growth and general welfare of the Village; and

WHEREAS, the Village, by a favorable vote of at least two-thirds (2/3) of the corporate authorities then holding office, have adopted an ordinance authorizing the execution of this Agreement;

NOW, THEREFORE, for and in consideration of the mutual covenants, promises and agreements hereinafter set forth, the parties hereto agree as follows:

1. The Owners have filed with the Village Clerk of the Village duly executed petitions, pursuant to and in accordance with the provisions of Section 5/7-1-8 of Chapter 65, Illinois Compiled Statutes, to annex the Subject Properties to the Village. It is expressly understood and agreed, however, that the action of the Village with respect to said petitions of the Owners for the annexation of the Subject Properties shall be, and hereby is, made expressly contingent upon the Subject Properties being legally contiguous to the Village at the time of said annexation and expressly contingent upon said properties being validly zoned and classified under the applicable ordinances of the Village, all as hereinafter provided.

2. The Village hereby agrees to annex the Subject Properties upon the terms and conditions of this Agreement, and the parties respectively agree to do all things necessary and appropriate to cause the Subject Properties to be duly and validly annexed to the Village.

3. Upon annexation of the Subject Properties to the Village, the Village hereby agrees to adopt the necessary ordinances to zone the Subject Properties I-1, Industrial District. Development of the Subject Properties shall be subject to all codes and ordinances of the Village in effect at the time of development, pursuant to paragraph 5 herein and the annexation of the Properties is subject to the Village adopting the rezoning ordinances.

4. Further, upon annexation the Village agrees to adopt ordinances granting the special use permit for the Subject Properties as described herein, beginning in paragraph 6 of this Agreement. The special use permit shall expire on December 31, 2033 and the annexation of the Properties is subject to the Village granting the special use permit.

5. Owners agree that all development and construction after annexation of the Subject Properties shall comply in all respects with the provisions in the Building, Plumbing, Electrical, Fire Prevention, Zoning and Development Codes of the Village and all other germane codes and ordinances of the Village in effect on the date that an application for a building permit for such development or construction is filed. Owners agree that any development and construction on the Subject Properties, except as provided in this Agreement, will be subject to the Bolingbrook Village Code and ordinances and all subsequent amendments thereto, as they may from time to time apply to the Subject Properties. The Village agrees that the Owners shall need no further permits from the Village to construct and the Owners agree to install, at the Owner's cost, an eight (8') foot "Stockade" fence in the location shown on Exhibit B of this Agreement before December 31, 2022.

6. Issuance of Special Use Permit. The special use permit for the Subject Properties shall provide and the Village and Owners agree that the current site conditions and land uses, including the outside storage of trucks and trailers, automobiles, inoperable automobiles, and automobile parts can continue until December 31, 2033 or until the properties are sold or developed, whichever occurs sooner (the "Transition Period"). For the purpose of this Agreement, the term "sold" shall mean the conveyance by deed, assignment of beneficial interest or any other means of transfer of 50% or more to a third party. A "third party" transfer does not include to a family trust, to a family limited partnership, and/or to a direct (i.e., spouse, child(ren), or grandchild(ren)) family member or an heir of Henry E. James. The property shall be maintained "AS IS" and will be deemed to be in compliance with all Village property maintenance codes until the end of the Transition Period. At the end of the Transition Period, the site conditions and land uses, including the outdoor storage of trucks and trailers, automobiles, inoperable automobiles, and automobile parts, shall immediately be improved to comply with the codes and ordinances of the Village, as existing on the date of the Transition Period termination. The Owners agree that if storage container trailers are used they shall not be "stacked" or visible from Interstate I-55. Additionally, the existing farmhouse can continue to be used as a rental during the term of this Agreement and shall be considered a legal non-conforming use which shall survive the term of this Agreement. The parties agree that the structure does not comply with existing Village code requirements. As such the owner agrees to indemnify and hold harmless the Village from any and all claims, causes of action and lawsuits.

7. During the term of this Agreement (20 years) or any extension thereof, upon the sale of the property to a third party, the Village will waive (one time) the Sellers' share of the Village's real estate transfer tax.

8. The Owners, in recognition of the needs of the School District serving the Subject Properties, agree that if the Subject Properties are developed for residential uses, to donate land or cash in lieu of land to the appropriate school district as provided in the Bolingbrook Development Code (Section 30-161) as currently existing or hereafter modified or replaced. The donation shall be due and payable at the time an application for a building permit is made for construction of each residential dwelling unit on the Subject Properties.

9. The Owners, in recognition of the needs of the Village and the Park District serving the Subject Properties, agree that if the Subject Properties are developed for residential uses, to donate land or cash in lieu of land to the appropriate park district as provided in the Bolingbrook Development Code (Section 30-161). The donation shall be due and payable at the time an application for a building permit is made for construction of each residential dwelling unit on the Subject Properties.

10. This Agreement shall inure to the benefit of, and be binding upon, the heirs and successors in title of the Owners, and each of them, their respective successors, grantees, lessees and assigns, and upon successor corporate authorities of the Village and successor municipalities. It is understood that this Agreement shall run with the land and, as such, shall be assignable to and binding upon subsequent grantees, lessees, and successors in interest of Owners, and each of them, and, as such, this Agreement and all exhibits hereto shall be recorded with the Recorder of Deeds of Will County, Illinois.

11. The Owners agree to reimburse the Village for trunk charges accruing as result of connecting the Subject Properties to the 9-1-1 emergency service line as follows. Upon approval of each final plat or final development plan the Owners shall pay:

- a. For single family attached or detached residential development, \$100.00 per acre for each acre or portion thereof included within the plat or plan.
- b. For multiple family attached residential development, \$25.00 per dwelling unit included within the plat or plan.
- c. For commercial or industrial development, \$100.00 per acre for each acre or portion thereof included within the plat or plan.

12. Upon development or redevelopment of the Subject Properties, the Owners shall pay a fee of \$100.00 per acre to cover the cost of providing emergency warning devices for the Subject Properties.

13. The Owners of the Subject Properties agree to defend and hold the Village harmless from any and all claims which may arise out of the said Owner's construction activities under this Agreement.

14. The construction and installation of all public improvements shall conform to and be in compliance with the Village ordinances then in effect at the time of the construction and installation of the same. The Owners and all other parties to this Agreement affirmatively agree to comply with the provisions of the Will County Stormwater Management Ordinance, as amended from time to time.

15. The Village will pay for all costs incurred by the Owners, as a result of this Agreement and the annexation and rezoning of the Subject Properties. Except for any specific fee or donation memorialized in this Agreement, and except as may be required, upon future development of the subject property, for water and sewer connection fees imposed by the Village of Romeoville, the property owner shall not be responsible for any donations or impact fees or other fees to any school district, park district, library district, fire district or other governmental

entity and that there are no recapture fees or other contributions which the property owner shall be required to make for roads, watermains, sanitary sewer lines or any other governmental utilities or improvements and that any and all other possible fees, including but not limited to annexation fees, traffic improvement fees, municipal facility fees, emergency service fees, beautification fees, are all waived and shall not be assessed against the property arising out of its annexation pursuant to this Agreement.

16. It is agreed that the parties hereto may in law or in equity, by suit, action, mandamus, or any other proceeding, including specific performance, enforce or compel the performance of this Agreement, which shall include the right of the parties to recover a judgment for monetary damages against each other, provided, however, that the Owners shall not have a right to recover a judgment for monetary damages against any elected or appointed official of the Village for any breach of any of the terms of this Agreement. The Village reserves the right to maintain an action to recover damages or any sums which Owners have agreed to pay pursuant this Agreement and which have become due and remained unpaid. The parties agree to dismiss all pending litigation, with prejudice, regarding the Subject Properties and further agree not to challenge the validity of the annexation of the Commonwealth Edison properties (Ord. 19-068) in the future. Each party shall be responsible for their own attorney fees and costs. Further, the parties have agreed that the trial court in Case Number 2015 MR 2972 shall retain jurisdiction of the lawsuit filed by the Plaintiff regarding the properties subject to this agreement in order to enforce the terms of the Settlement Agreement and General Release entered into between the parties and the parties agree that the trial court shall also have jurisdiction to enforce the terms of this Annexation Agreement during the term of this Annexation Agreement, which is a material part of the settlement of the lawsuit in Case Number 2015 MR2792.

17. The agreements contained herein shall survive the annexation of the Subject Properties and shall not be merged or expunged by the annexation of the Subject Properties or any part thereof to the Village.

18. The parties acknowledge and agree that the individuals who are members of the group constituting the corporate authorities of the Village are entering into this Agreement in their corporate capacities as members of such group and shall have no personal liability in their individual capacities.

19. Notices or other writings which any party is required to or may wish to serve upon any other party in connection with this Agreement shall be in writing and shall be delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid, addressed as follows:

**If to the Village:**

Village of Bolingbrook  
375 West Briarcliff Road  
Bolingbrook, Illinois 60440

with a copy to:       Burton S. Odelson  
ODELSON, STERK, MURPHEY, FRAZIER & McGRATH, LTD.  
3318 West 95th Street  
Evergreen Park, Illinois 60805

**If to the Owners:**

Chicago Title Land Trust Company 10 S LaSalle Street, Suite 2750 Chicago, IL 60603	and	Midland States Bank, as Trustee under the Trust Agreement Dated December 18, 2021 and known as known as Trust Number 1901 1540 Illinois Route 59 Joliet, IL 60431
--	-----	--

with a copy to:       Michael J. Martin  
Dunn, Martin & Miller, Ltd.  
15 W. Jefferson Street, Suite 300  
Joliet, Illinois 60432



or to such other address as any party may from time to time designate in a written notice to the other party.

20. If any provision, clause, word or designation of this Agreement is held to be invalid by any court of competent jurisdiction, such provision, clause, word, or designation shall be deemed to be excised from this Agreement and the invalidity thereof shall not affect any other provision, clause, word, or designation contained herein.

21. That the term of this Annexation Agreement shall be for a period of twenty (20) years from the date of the enactment of an ordinance approving the agreement.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by their proper officers duly authorized to execute same, the day and year first written above.

CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689.

AND

Midland States Bank, as Trustee under the Trust Agreement Dated December 18, 2012 and known as Trust Number 1901,

OWNERS:

By: Ed James  
Ed James, Trustee, and sole beneficiary of said Trust

VILLAGE OF BOLINGBROOK

[Signature]  
Mayor

ATTEST:

Marcia M. Butts  
Village Clerk

**LEGAL DESCRIPTION SUBJECT TO CHANGE WHEN PLAT COMPLETED**

**EXHIBIT A  
TO PETITION FOR ANNEXATION  
TO THE VILLAGE OF BOLINGBROOK**

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN LYING SOUTH & EAST OF THE SOUTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 66 (A/K/A/ F.A.I. ROUTE 55, NOW INTERSTATE 55), (EXCEPT THAT PART TAKEN FOR ROAD WIDENING PER CASE #82ED11), IN WILL COUNTY, ILLINOIS.

PROPERTY INDEX NO: 12-02-21-300-003-0000

COMMONLY KNOWN AS: 11857 South Frontage Road, Romeoville, Illinois 60446

**EXHIBIT A  
TO PETITION FOR ANNEXATION  
TO THE VILLAGE OF BOLINGBROOK**

PARCEL I:

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, IN TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28, AND RUNNING THENCE SOUTH 89 DEGREES 59 MINUTES 57 SECONDS WEST, ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 60.48 FEET TO A POINT IN THE NORTHWESTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 59 MINUTES 57 SECONDS WEST, ALONG SAID NORTH LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 537.70 FEET TO THE SOUTHEASTERLY LINE OF F.A.I. ROUTE NO. 55 (A/K/A/ U.S. ROUTE 66, NOW INTERSTATE 55); THENCE SOUTH 57 DEGREES 33 MINUTES WEST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 60.00 FEET; THENCE SOUTH 43 DEGREES 22 MINUTES 44 SECONDS EAST A DISTANCE OF 365.16 FEET TO THE SAID NORTHWESTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY; THENCE NORTH 48 DEGREES 35 MINUTES 47 SECONDS EAST, ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 450.00 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

PARCEL II:

TOGETHER WITH THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, IN TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28, AND RUNNING THENCE SOUTH 01

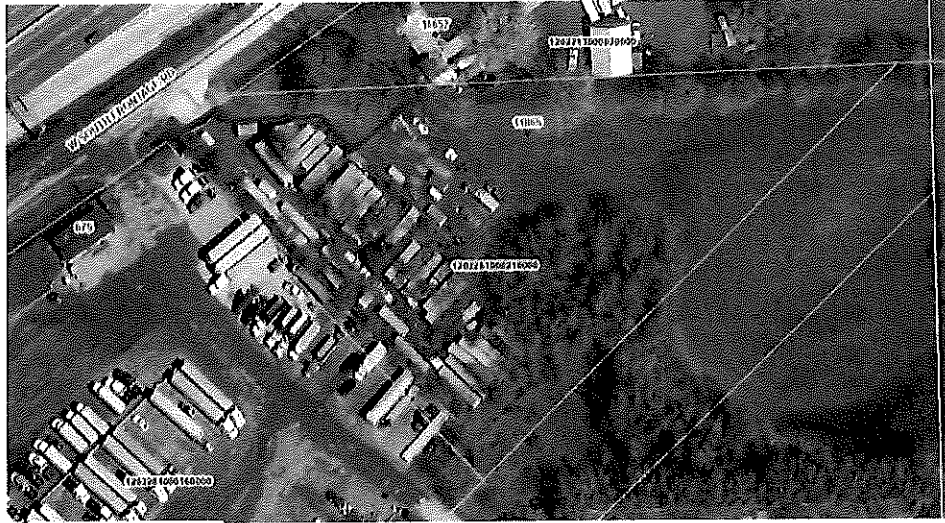
DEGREES 04 MINUTES 45 SECONDS WEST, ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 81.36 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY, SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 48 DEGREES 35 MINUTES 47 SECONDS WEST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 418.29 FEET; THENCE SOUTH 88 DEGREES 55 MINUTES 15 SECONDS EAST A DISTANCE OF 308.48 FEET TO SAID EAST LINE OF THE NORTHWEST QUARTER; THENCE NORTH 01 DEGREES 04 MINUTES 45 SECONDS EAST, ALONG SAID EAST LINE, A DISTANCE OF 282.50 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

PIN: 12-02-28-100-021

VACANT LAND COMMONLY KNOWN AS: 11865 South Frontage Road, Romeoville, Illinois 60446

[MAP]

EXHIBIT B TO ANNEXATION AGREEMENT



**EXHIBIT 2 TO ORDINANCE NO. \_\_\_\_\_**

**SETTLEMENT AGREEMENT  
AND GENERAL RELEASE**

**CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689, by HENRY E. JAMES, the Holder of the Power of Direction and the owner of the Beneficial Interest of the Land Trust v. VILLAGE OF BOLINGBROOK**

**Will County Case No. 2015 MR 2972**

THIS SETTLEMENT AGREEMENT AND GENERAL RELEASE (hereinafter referred to as the "Agreement" or "Settlement Agreement") is entered into the last of the days set forth following the parties' signature by and among CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689, and Midland States Bank, as Trustee under a Trust Agreement Dated December 18, 2012 and known as Trust Number 1901, by HENRY E. JAMES, the Holder of the Power of Direction and the owner of the Beneficial Interest of the Land Trusts (hereinafter referred to as the "Plaintiff") and THE VILLAGE OF BOLINGBROOK, an Illinois municipal corporation (hereinafter referred to as "Defendant" or "the Village"), (collectively referred to hereinafter as the "Parties").

**WITNESSETH**

WHEREAS, the Village of Bolingbrook is a home rule municipal corporation located in Will and DuPage Counties, Illinois.

WHEREAS, Plaintiff is the owner of certain property described in greater detail below (the "subject properties") in Will County, Illinois;

WHEREAS, Plaintiff filed suit against Will County and other Defendants in the Circuit Court of Will County, Illinois, in the cause of action entitled:

"CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689, by HENRY E. JAMES, the Holder of the Power of Direction and the owner of the Beneficial Interest of the Land Trust, Plaintiff v. COUNTY OF WILL, a body politic and corporate, the WILL COUNTY PLANNING and ZONING COMMISSION, an agency of Will County, LENARD VALLONE, an individual, BARBARA PETERSON, an individual, KIMBERLY MITCHELL, an individual, HUGH STIPAN, an individual, SCOTT LAGGER, an individual, MICHAEL CARRUTHERS, an individual,

and THOMAS WHITE, an individual, and VILLAGE OF BOLINGBROOK, Defendants; and, PEOPLE OF THE STATE OF ILLINOIS, ex. rel. CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689, by HENRY E. JAMES, the Holder of the Power of Direction and the owner of the Beneficial Interest of the Land Trust, and MIDLAND STATES BANK, under a trust agreement dated December 18, 2012 known as Trust Number 1901, by HENRY E. JAMES, the Holder of the Power of Direction and the owner of the Beneficial Interest of the Land Trusts, Plaintiffs v. Village of Bolingbrook, Defendant having case number 2015 MR 2972 (hereinafter the “Lawsuit”);

WHEREAS, Defendant, the Village of Bolingbrook, intervened in said lawsuit;

WHEREAS, on May 10, 2016, Defendant passed an Ordinance, Ordinance No. 16-047, force annexing the subject properties;

WHEREAS, on June 28, 2016, Plaintiff filed a Complaint in Quo Warranto against the Defendant challenging the involuntary annexation of the subject properties by the Village, which properties contain approximately 3.08 acres zoned I-2 and 2.5 acres zoned A-2 under the Will County Zoning Ordinance.

WHEREAS, in Case No. 3-16-0713(“James I”), the Third District Appellate Court held that the annexation by the Village of certain property owned by ComEd in order to create a corridor to involuntarily annex the James Subject Properties was a sham and remanded the action back to the trial court with directions to enter judgment on the Plaintiff’s Motion for Judgment on the Pleadings on the Quo Warranto Complaint.

WHEREAS, on September 24, 2019, the trial court entered an order which found that the Village of Bolingbrook’s second attempt to involuntarily annex the Subject Properties of the Plaintiff was a collateral attack on the decision of the Third District Appellate Court in James I, and granted an injunction staying the Village of Bolingbrook from involuntarily annexing the Subject Properties and also granted the Plaintiff’s Motion for Judgment on the Pleadings in the zoning case ordering the issuance of a variance for lot frontage and ordering Will County to issue a building permit.

WHEREAS, on May 24, 2021, in Case No. 3-19-0564, the Third District Appellate Court held that the trial court erred in granting the preliminary injunction and reversed and remanded the case to the trial court (“James II”).

WHEREAS, Plaintiff filed, and the Illinois Supreme Court granted a Petition for Leave to Appeal, which case remains pending, wherein Plaintiff appeals the ruling of the Third District Appellate Court in James II;

WHEREAS, Plaintiff and Defendant have agreed to settle all disputes which may have occurred between Plaintiff and Defendant relating to the Lawsuit;



NOW THEREFORE, in consideration of the promises and agreements herein contained, in this Settlement Agreement and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Plaintiff and the Defendant agree as follows:

## 1. SUBJECT PROPERTIES

Real property located in unincorporated DuPage Township, Will County, Illinois, along Interstate 55 South Frontage Road, PIN 12-02-28-100-021-0000, which is owned by Plaintiff, Chicago Title Land Trust Company, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689 (the "Chicago Title Property"), and which has the following legal description;

### PARCEL I:

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, IN TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28, AND RUNNING THENCE SOUTH 89 DEGREES 59 MINUTES 57 SECONDS WEST, ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 60.48 FEET TO A POINT IN THE NORTHWESTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 59 MINUTES 57 SECONDS WEST, ALONG SAID NORTH LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 537.70 FEET TO THE SOUTHEASTERLY LINE OF F.A.I. ROUTE NO. 55 (A/K/A/ U.S. ROUTE 66, NOW INTERSTATE 55); THENCE SOUTH 57 DEGREES 33 MINUTES WEST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 60.00 FEET; THENCE SOUTH 43 DEGREES 22 MINUTES 44 SECONDS EAST A DISTANCE OF 365.16 FEET TO THE SAID NORTHWESTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY; THENCE NORTH 48 DEGREES 35 MINUTES 47 SECONDS EAST, ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 450.00 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

### PARCEL II:

TOGETHER WITH THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, IN TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28, AND RUNNING THENCE SOUTH 01 DEGREES 04 MINUTES 45 SECONDS WEST, ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF

81.36 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY, SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 48 DEGREES 35 MINUTES 47 SECONDS WEST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 418.29 FEET; THENCE SOUTH 88 DEGREES 55 MINUTES 15 SECONDS EAST A DISTANCE OF 308.48 FEET TO SAID EAST LINE OF THE NORTHWEST QUARTER; THENCE NORTH 01 DEGREES 04 MINUTES 45 SECONDS EAST, ALONG SAID EAST LINE, A DISTANCE OF 282.50 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

and

Real property located in unincorporated DuPage Township, Will County, Illinois, along Interstate 55 South Frontage Road, 12-02-21-300-003-0000, which is owned by Plaintiff, Midland States Bank, under a trust agreement dated December 18, 2012 and known as Trust Number 1901 (the "Midland Property"), and which has the following legal description:

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN LYING SOUTH & EAST OF THE SOUTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 66 (A/K/A/ F.A.I. ROUTE 55, NOW INTERSTATE 55), (EXCEPT THAT PART TAKEN FOR ROAD WIDENING PER CASE #82ED11), IN WILL COUNTY, ILLINOIS.

## **2. ANNEXATION**

- 2.1 Contemporaneous with the execution of this Settlement Agreement, Plaintiff shall execute or cause to be executed, voluntary petitions to annex and rezone the subject properties to the Village of Bolingbrook.
- 2.2 The Defendant shall pay all costs associated with the annexation and rezoning to I-1 Limited Industrial with the issuance of a special use permit to Plaintiff's subject properties.
- 2.3 Plaintiff shall cooperate in all necessary aspects of the annexation process, including but not limited to allowing the statutory public notice sign to be placed on the subject properties.
- 2.4 Plaintiff shall not contest or challenge, directly or indirectly, the Defendant's annexation of ComEd property in the future.
- 2.5 The Annexation Agreement which is entered into between the Plaintiff and the Defendant shall also be considered a part of this Settlement Agreement and General Release, and

attached hereto as Exhibit 1, is the proposed draft of the Annexation Agreement between the Parties which is hereby incorporated herein as if fully set forth herein.

### **3. ZONING AND SPECIAL USE PERMIT**

3.1 The Defendant will zone the subject properties as I-1 Limited Industrial, with a Special Use Permit to allow outdoor storage.

3.2 Plaintiff expressly acknowledges that the zoning is consistent with adjacent properties.

3.3 The Special Use Permit allowing the continued use of the properties for outdoor storage will expire on December 31, 2033, but the zoning will run with the title to the Subject Properties.

3.4 Except as otherwise provided herein, the Special Use Permit will treat the existing storage of trucks, trailers, automobiles, inoperable automobiles and automobile parts on the premises as a legal non-conforming use and will allow the current usage of the properties to continue and all ordinances, regulations and codes of the Village, including without limitation those pertaining to zoning, subdivision, development, buildings or appurtenances, shall not apply to the development so as to require additional conditions to be placed on the usage of the property until the expiration of the term of the special use permit. Any amendments, repeal or additional regulations which are subsequently enacted by the Village regarding the continued use of the Subject Properties for outdoor storage shall not be applied to the Subject Properties and the Subject Properties shall be deemed and considered in full compliance with all ordinances and zoning codes of the Village of Bolingbrook during the term of the special use permit. Notwithstanding the foregoing, all new development and construction after annexation on the Subject Properties (with the express exception of the fence described in Section 4 herein) shall comply in all respects with the provisions in the Building, Plumbing, Electrical, Fire Prevention, Zoning and Development Codes of the Village and all other germane codes and ordinances of the Village in effect on the date that an application for a building permit for such development or construction is filed.

### **4. PRIVACY FENCE**

4.1 Plaintiff will install an eight (8) foot privacy stockade fence in the location depicted in Exhibit 2 (aerial photograph). Plaintiff will install, or cause to be installed, the eight (8) foot fence within the calendar year of 2022. The style of the fence shall be stockade fencing as depicted in Exhibit 3. The Plaintiff will not be required to obtain any further permits or pay any sums of money to the Village of Bolingbrook for the erection of the fence and the fence shall be deemed in compliance with all Village codes, ordinances and regulations. Plaintiff shall maintain the fence in good condition and substantially in the same condition as at the time of installation, ordinary wear and tear excepted.

## **5. STORAGE CONTAINERS**

If storage containers are utilized on the subject properties, said storage containers shall not be stacked.

## **6. FARMHOUSE**

- 6.1 There exists a structure on the subject properties known as the “farmhouse.” The Village is concerned that the existing “farmhouse” does not comply with current Village codes and rental requirements; however, the Plaintiff will be not be required to make any further improvements to the farmhouse in order to comply with any Village codes and rental requirements and the farmhouse structures shall be considered a legal non-conforming use.
- 6.2 Plaintiff agrees to hold harmless and indemnify the Defendant from any future claims, complaints, demands, obligations, actions, promises, agreements, controversies, suits, losses, debts, claims for loss of services, comfort and society, personal injury, rights, damages, costs, expenses (including attorneys’ fees and costs actually incurred), benefits, lost wages and compensations of any nature, or causes of action whatsoever, known or unknown, expected or unexpected, including without limitation, rights arising out of alleged violations of any state or federal law, including all economic and non-economic damages, whether based in constitutional law, tort law, statute, contract, quasi-contract, or other theory of recovery of any nature, related to or arising from the condition of the subject properties and the condition of the building structure known as the “farmhouse”

## **7. REAL ESTATE TRANSFER TAX**

That during the Term (20 years) of the Annexation Agreement regarding the Subject Properties or any extension of the Term thereof, the Defendant will waive the seller’s portion of any Village real estate transfer tax on any sale by the Plaintiff or the Plaintiff’s heirs, successors or assigns to a third party.

## **8. LAWSUIT DISMISSAL**

Upon remand of the case by the Supreme Court to the Appellate Court and subsequently to the trial court and contemporaneously with and subsequent to approval of the Annexation Agreement and the annexation of the Subject Properties by the Village, the Plaintiff and the Defendant, the Village of Bolingbrook, will ask the trial court to dismiss the lawsuit in Case Number 2015 MR 2972, with prejudice with all matters in controversy having been settled and without an award of costs or fees to either party. However, the trial court shall retain jurisdiction to enforce the terms of this Settlement Agreement,

including the terms of the Annexation Agreement which is considered a part of this Settlement Agreement.

#### **9. RELEASE BY PLAINTIFF**

In consideration of the mutual promises and agreements stated herein, Plaintiff does hereby irrevocably and unconditionally release, acquit and forever discharge the Village of Bolingbrook, as well as its past, present, and future employees, agents, affiliates, parents, subsidiaries, divisions, servants, representatives, affiliates, predecessors, successors in interest, assigns, insurers, stockholders, officers, trustees, directors, underwriters, attorneys or any one of them, separately or jointly, and each member of the Board of Trustees of the Village of Bolingbrook, (hereinafter collectively called the "Released Parties"), from any and all past, present, or future charges, claims, complaints, demands, obligations, actions, promises, agreements, controversies, suits, losses, debts, claims for loss of services, comfort and society, personal injury, rights, damages, costs, expenses (including attorneys' fees and costs actually incurred), benefits, lost wages and compensations of any nature, or causes of action whatsoever, known or unknown, expected or unexpected, including without limitation, rights arising out of alleged violations of any state or federal law, including all economic and non-economic damages, whether based in constitutional law, tort law, statute, contract, quasi-contract, or other theory of recovery, which Plaintiff now has, or which may hereafter accrue or otherwise be acquired, on account of, or in any way growing out of, or which are the subject of the Lawsuit, including, without limitation, any and all known or unknown claims for bodily, emotional and personal injuries, property damage, economic damage or any future claim of Plaintiff's legal representatives, which have resulted or may result from the alleged acts or omissions of the Released Parties which are alleged, or could have been alleged, in the Lawsuit. This Release is entered into in settlement of Plaintiff's claims and is negotiated as a full and final release. This Release on the part of Plaintiff shall be a fully binding and complete settlement between Plaintiff and Defendant, and their respective assigns and successors. Plaintiff understands that this Release includes all claims that Plaintiff, Plaintiff's heirs, legal representatives and assigns, may have either individually or in a representative capacity against the Released Parties arising out of the any acts or omissions which are alleged, or could have been alleged, in the Lawsuit.

#### **10. RELEASE BY DEFENDANT**

In consideration of the mutual promises and agreements stated herein, and except as otherwise provided herein in Paragraph 6.2, Defendant does hereby irrevocably and unconditionally release, acquit and forever discharge Plaintiff, as well as its past, present, and future employees, agents, affiliates, parents, subsidiaries, divisions, servants, representatives, affiliates, predecessors, successors in interest, assigns, insurers, stockholders, officers, trustees, directors, underwriters, heirs, attorneys or any one of them, separately or jointly, from any and all past, present, or future charges, claims, complaints,

demands, obligations, actions, promises, agreements, controversies, suits, losses, debts, claims for loss of services, comfort and society, personal injury, rights, damages, costs, expenses (including attorneys' fees and costs actually incurred), benefits, lost wages and compensations of any nature, or causes of action whatsoever, known or unknown, expected or unexpected, including without limitation, rights arising out of alleged violations of any state or federal law, including all economic and non-economic damages, whether based in constitutional law, tort law, statute, contract, quasi-contract, or other theory of recovery, which Defendant now has, or which may hereafter accrue or otherwise be acquired, on account of, or in any way growing out of, or which are the subject of the Lawsuit, including, without limitation, any and all known or unknown claims for bodily, emotional and personal injuries, property damage, economic damage or any future claim of Plaintiff's legal representatives, which have resulted or may result from the alleged acts or omissions of the Plaintiff which are alleged, or could have been alleged, in the Lawsuit. This Release is entered into in settlement of Plaintiff's claims and is negotiated as a full and final release. This Release on the part of Defendant shall be a fully binding and complete settlement between Plaintiff and Defendant, and their respective assigns and successors. Defendant understands that this Release includes all claims that Defendant's employees, agents, affiliates, parents, subsidiaries, divisions, servants, representatives, affiliates, predecessors, successors in interest, assigns, insurers, stockholders, officers, trustees, directors, underwriters, may have either individually or in a representative capacity against the Plaintiff arising out of the any acts or omissions which are alleged, or could have been alleged, in the Lawsuit.

#### **11. FEES AND COSTS OF PENDING LAWSUIT**

Each party shall be responsible for their own respective costs and fees as a result of the lawsuit, including attorneys' fees and court costs.

#### **12. FAILURE TO INSIST ON STRICT PERFORMANCE**

The failure of any Party to insist on any one or more instances upon the strict performance of any term of this Agreement by the other Party shall not be construed as a waiver of or relinquishment of such term or terms for the future, and the same shall continue in full force and effect.

#### **13. COMPLETE AGREEMENT**

All understandings and agreements heretofore made between the Parties are superseded by and merged into this Agreement and into the Annexation Agreement for the Subject Properties which is incorporated herein, including all Exhibits attached to the Agreements, which alone fully and completely expresses the agreement between the Parties, and same is entered into with no Party relying upon any statement or representation made by any party not embodied in this Agreement.

#### **14. NON-ASSIGNMENT**

This Agreement may not be assigned by any Party, whether by operation of law or otherwise, without the prior written consent of the other Party.

#### **15. INCORPORATION OF RECITALS AND EXHIBITS**

The recitals set forth at the beginning of this Agreement and all exhibits attached hereto are, and shall be construed as an integral part of this Agreement and are hereby incorporated as if fully set forth herein.

#### **16. INTERPRETATION OF AGREEMENT**

This Agreement shall be deemed to have been drafted jointly by the Parties and any uncertainty or ambiguity shall not be construed for or against any Party as an attribution of drafting to any Party.

The headings of Sections contained in this Agreement are merely for convenience of reference and shall not affect the interpretation of any of the provisions of this Agreement. Whenever the context so requires, the singular shall include the plural and vice versa. All words and phrases shall be construed as masculine, feminine or neuter gender, according to the context. Any modification of this Agreement may be made only by an instrument in writing signed by or on behalf of the Parties to be bound by such modification.

Whenever possible, each provision hereof shall be construed so as to be interpreted in such manner as to be effective and valid under applicable law.

#### **17. AUTHORITY TO EXECUTE**

The Parties represent and warrant that they have full power and authority to enter into and perform this Agreement and its obligations hereunder. All action necessary to authorize the execution and performance of this Agreement has been taken.

#### **18. LAW APPLICABLE**

This Agreement shall be controlled, construed and in all respects governed by the laws of the United States and the State of Illinois, as if made and performed entirely within the State of Illinois without regard to any conflicts of laws principles.

#### **19. VENUE**

In the event of litigation regarding the rights, obligations and duties set forth in this Agreement, the Parties hereby consent to suit in Will County, Illinois, and venue for any such action shall be in the Circuit Court of Will County.

**20. SEVERABILITY**

If any provision of this Agreement or the application thereof to any Party or circumstances shall be prohibited by or invalid under applicable law, such provision shall be ineffective to the extent of such prohibition without invalidating the remainder of such provision or any other provision of this Agreement or the application of such provision to other Parties or circumstances.


**21. EXECUTION IN COUNTERPARTS**

This Agreement may be executed in any one or many counterparts, each of which shall constitute an original, no other counterpart needing to be produced, and all of which, when taken together, shall constitute but one and the same instrument.

THE PARTIES ACKNOWLEDGE AND AGREE THAT THEY HAVE READ THIS AGREEMENT IN ITS ENTIRETY, THAT THEY UNDERSTAND ITS TERMS AND THAT ITS TERMS ARE FAIR AND LEGALLY ENFORCEABLE, THAT THEY HAVE HAD AMPLE OPPORTUNITY TO NEGOTIATE WITH EACH OTHER WITH REGARD TO ALL OF ITS TERMS, THAT THEY HAVE ENTERED INTO THIS AGREEMENT FREELY AND VOLUNTARILY, THAT THEY CONSULTED WITH COUNSEL CONCERNING THIS AGREEMENT AND THAT THEY HAVE THE FULL RIGHT, POWER, AUTHORITY, AND CAPACITY TO ENTER INTO AND EXECUTE THIS AGREEMENT.

IN WITNESS WHEREOF, the Parties have executed this SETTLEMENT AGREEMENT AND GENERAL RELEASE as of the date first set forth below their names.

PLAINTIFF:  
CHICAGO TITLE LAND TRUST  
COMPANY, as Trustee and as Successor to  
North Star Trust Company, Successor to  
Harris Bank, Successor to First National Bank  
of Joliet, under a Trust Agreement Dated  
October 21, 1979 and known as Trust  
Number 1689, and Midland States Bank, as  
Trustee under a Trust Agreement Dated  
December 18, 2012 and known as Trust

DEFENDANT:  
Village of Bolingbrook  
By:   
Its: Mayor  
Date: February 28, 2022



Number 1901, Holder of the Beneficial  
Interest in the Land Trust

Signature: Ed James  
by HENRY E. JAMES, the Holder of the  
Power of Direction and the owner of the  
Beneficial Interest of the Land Trusts

Date: 3/2/22

## EXHIBIT 1 TO SETTLEMENT AGREEMENT

### ANNEXATION AGREEMENT

THIS AGREEMENT made and entered into this 22<sup>nd</sup> day of February, 2022 between the Village of Bolingbrook, an Illinois municipal corporation, located in Will and DuPage Counties, Illinois (hereinafter referred to as the "Village"), and CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689, and Midland States Bank, as Trustee under the Trust Agreement Dated December 18, 2012 and known as Trust Number 1901 by HENRY E. JAMES, Holder of the Powers of Direction and Owner of the Beneficial Interest in the Land Trusts (hereinafter referred to as "Owners").

#### WITNESSETH:

WHEREAS, the Owners are the owners of the properties legally described in Exhibit A attached hereto and made a part hereof (hereinafter referred to as the "Subject Properties"), which properties are subject to this Annexation Agreement; and

WHEREAS, the corporate authorities of the Village have considered the annexation of the Subject Properties; and

WHEREAS, the Subject Properties consist of approximately +/-5.63 Acres and are presently contiguous to the Village, and none of said properties are presently within the corporate limits of any other municipality; and

WHEREAS, the parties wish to enter into a binding agreement with respect to said annexation, zoning and development, and to other related matters, pursuant to the provisions of Division 15.1 of Article Eleven of Chapter 65 of the Illinois Compiled Statutes, upon the terms and conditions contained in this Agreement; and

WHEREAS, all public hearings as required by law have been held by the different departments, commissions, boards, and other governmental bodies of the Village, and each has submitted various reports and recommendations, or both, required of them; and

WHEREAS, the annexation of the Subject Properties to the Village will be beneficial to the Village, will properly and beneficially extend the corporate limits and the jurisdiction of the Village, will permit the sound planning and development of the Village, and will otherwise promote the proper growth and general welfare of the Village; and

WHEREAS, the Village, by a favorable vote of at least two-thirds (2/3) of the corporate authorities then holding office, have adopted an ordinance authorizing the execution of this Agreement;

NOW, THEREFORE, for and in consideration of the mutual covenants, promises and agreements hereinafter set forth, the parties hereto agree as follows:

1. The Owners have filed with the Village Clerk of the Village a duly executed petitions, pursuant to and in accordance with the provisions of Section 5/7-1-8 of Chapter 65, Illinois Compiled Statutes, to annex the Subject Properties to the Village. It is expressly understood and agreed, however, that the action of the Village with respect to said petitions of the Owners for the annexation of the Subject Properties shall be, and hereby is, made expressly contingent upon the Subject Properties being legally contiguous to the Village at the time of said annexation and expressly contingent upon said properties being validly zoned and classified under the applicable ordinances of the Village, all as hereinafter provided.

2. The Village hereby agrees to annex the Subject Properties upon the terms and conditions of this Agreement, and the parties respectively agree to do all things necessary and appropriate to cause the Subject Properties to be duly and validly annexed to the Village.

3. Upon annexation of the Subject Properties to the Village, the Village hereby agrees to adopt the necessary ordinances to zone the Subject Properties I-1, Industrial District. Development of the Subject Properties shall be subject to all codes and ordinances of the Village in effect at the time of development, pursuant to paragraph 5 herein and the annexation of the Properties is subject to the Village adopting the rezoning ordinances.

4. Further, Upon annexation the Village agrees to adopt ordinances granting the special use permit for the Subject Properties as described herein, beginning in paragraph 6 of this Agreement. The special use permit shall expire on December 31, 2033 and the annexation of the Properties is subject to the Village granting the special use permit.

5. Owners agree that all development and construction after annexation on the Subject Properties shall comply in all respects with the provisions in the Building, Plumbing, Electrical, Fire Prevention, Zoning and Development Codes of the Village and all other germane codes and ordinances of the Village in effect on the date that an application for a building permit for such development or construction is filed. Owners agree that any development and construction on the Subject Properties, except as provided in this Agreement, will be subject to the Bolingbrook Village Code and ordinances and all subsequent amendments thereto, as they may from time to time apply to the Subject Properties. The Village agrees that the Owners shall need no further permits from the Village to construct and the Owners agree to install, at the Owner's cost, an eight (8') foot "Stockade" fence in the location shown on Exhibit B of this Agreement before December 31, 2022.

6. Issuance of Special Use Permit. The special use permit for the Subject Properties shall provide and the Village and Owners agree that the current site conditions and land uses, including the outside storage of trucks and trailers, automobiles, inoperable automobiles, and

automobile parts can continue until December 31, 2033 or until the properties are sold or developed, whichever occurs sooner (the "Transition Period"). For the purpose of this Agreement, the term "sold" shall mean the conveyance by deed, assignment of beneficial interest or any other means of transfer of 50% or more to a third party. A "third party" transfer does not include to a family trust, to a family limited partnership, and/or to a direct (i.e., spouse, child(ren), or grandchild(ren)) family member or an heir of Henry E. James. The property shall be maintained "AS IS" and will be deemed to be in compliance with all Village property maintenance codes until the end of the Transition Period. At the end of the Transition Period, the site conditions and land uses, including the outdoor storage of trucks and trailers, automobiles, inoperable automobiles, and automobile parts, shall immediately be improved to comply with the codes and ordinances of the Village, as existing on the date of the Transition Period termination. The Owners agree that if storage container of trailers are used they shall not be "stacked" or visible from Interstate I-55. Additionally, the existing farmhouse can continue to be used as a rental during the term of this Agreement and shall be considered a legal non-conforming use which shall survive the term of this Agreement. The parties agree that the structure does not comply with existing Village code requirements. As such the owner agrees to indemnify and hold harmless the Village from any and all claims, causes of action and lawsuits.

7. During the term of this Agreement (20 years) or any extension thereof, upon the sale of the property to a third party, the Village will waive (one time) the Sellers' share of the Village's real estate transfer tax.

8. The Owners, in recognition of the needs of the School District serving the Subject Properties, agree that if the Subject Properties are developed for residential uses, to donate land or cash in lieu of land to the appropriate school district as provided in the Bolingbrook Development

Code (Section 30-161) as currently existing or hereafter modified or replaced. The donation shall be due and payable at the time an application for a building permit is made for construction of each residential dwelling unit on the Subject Properties.

9. The Owners, in recognition of the needs of the Village and the Park District serving the Subject Properties, agree that if the Subject Properties are developed for residential uses, to donate land or cash in lieu of land to the appropriate park district as provided in the Bolingbrook Development Code (Section 30-161). The donation shall be due and payable at the time an application for a building permit is made for construction of each residential dwelling unit on the Subject Properties.

10. This Agreement shall inure to the benefit of, and be binding upon, the heirs and successors in title of the Owners, and each of them, their respective successors, grantees, lessees and assigns, and upon successor corporate authorities of the Village and successor municipalities. It is understood that this Agreement shall run with the land and, as such, shall be assignable to and binding upon subsequent grantees, lessees, and successors in interest of Owners, and each of them, and, as such, this Agreement and all exhibits hereto shall be recorded with the Recorder of Deeds of Will County, Illinois.

11. The Owners agree to reimburse the Village for trunk charges accruing as result of connecting the Subject Properties to the 9-1-1 emergency service line as follows. Upon approval of each final plat or final development plan the Owners shall pay:

- a. For single family attached or detached residential development, \$100.00 per acre for each acre or portion thereof included within the plat or plan.
- b. For multiple family attached residential development, \$25.00 per dwelling unit included within the plat or plan.

c. For commercial or industrial development, \$100.00 per acre for each acre or portion thereof included within the plat or plan.

12. Upon development or redevelopment of the Subject Properties, the Owners shall pay a fee of \$100.00 per acre to cover the cost of providing emergency warning devices for the Subject Properties.

13. The Owners of the Subject Properties agree to defend and hold the Village harmless from any and all claims which may arise out of the said Owner's construction activities under this Agreement.

14. The construction and installation of all public improvements shall conform to and be in compliance with the Village ordinances then in effect at the time of the construction and installation of the same. The Owners and all other parties to this Agreement affirmatively agree to comply with the provisions of the Will County Stormwater Management Ordinance, as amended from time to time.

15. The Village will pay for all costs incurred by the Owners, as a result of this Agreement and the annexation and rezoning of the Subject Properties. Except for any specific fee or donation memorialized in this Agreement, and except as may be required, upon future development of the subject property, , for water and sewer connection fees imposed by the Village of Romeoville the property owner shall not be responsible for any donations or impact fees or other fees to any school district, park district, library district, fire district or other governmental entity and that there are no recapture fees or other contributions which the property owner shall be required to make for roads, watermains, sanitary sewer lines or any other governmental utilities or improvements and that any and all other possible fees, including but not limited to annexation fees, traffic improvement fees, municipal facility fees, emergency service fees, beautification fees, are

all waived and shall not be assessed against the property arising out of its annexation pursuant to this Agreement.

16. It is agreed that the parties hereto may in law or in equity, by suit, action, mandamus, or any other proceeding, including specific performance, enforce or compel the performance of this Agreement, which shall include the right of the parties to recover a judgment for monetary damages against each other, provided, however, that the Owners shall not have a right to recover a judgment for monetary damages against any elected or appointed official of the Village for any breach of any of the terms of this Agreement. The Village reserves the right to maintain an action to recover damages or any sums which Owners have agreed to pay pursuant this Agreement and which have become due and remained unpaid. The parties agree to dismiss all pending litigation, with prejudice, regarding the Subject Properties and further agree not to challenge the validity of the annexation of the Commonwealth Edison properties (Ord. 19-068) in the future. Each party shall be responsible for their own attorney fees and costs. Further, the parties have agreed that the trial court in Case Number 2015 MR 2972 shall retain jurisdiction of the lawsuit filed by the Plaintiff regarding the properties subject to this agreement in order to enforce the terms of the Settlement Agreement and General Release entered into between the parties and the parties agree that the trial court shall also have jurisdiction to enforce the terms of this Annexation Agreement during the term of this Annexation Agreement, which is a material part of the settlement of the lawsuit in Case Number 2015 MR2792.

17. The agreements contained herein shall survive the annexation of the Subject Properties and shall not be merged or expunged by the annexation of the Subject Properties or any part thereof to the Village.



18. The parties acknowledge and agree that the individuals who are members of the group constituting the corporate authorities of the Village are entering into this Agreement in their corporate capacities as members of such group and shall have no personal liability in their individual capacities.

19. Notices or other writings which any party is required to or may wish to serve upon any other party in connection with this Agreement shall be in writing and shall be delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid, addressed as follows:

**If to the Village:**

Village of Bolingbrook  
375 West Briarcliff Road  
Bolingbrook, Illinois 60440

with a copy to:       Burton S. Odelson  
ODELSON, STERK, MURPHEY, FRAZIER & McGRATH, LTD.  
3318 West 95th Street  
Evergreen Park, Illinois 60805

**If to the Owners:**

Chicago Title Land Trust Company 10 S LaSalle Street, Suite 2750 Chicago, IL 60603	and	Midland States Bank, as Trustee under the Trust Agreement Dated December 18, 2021 and known as known as Trust Number 1901 1540 Illinois Route 59 Joliet, IL 60431
--	-----	--

with a copy to:       Michael J. Martin  
Dunn, Martin & Miller, Ltd.  
15 W. Jefferson Street, Suite 300  
Joliet, Illinois 60432

or to such other address as any party may from time to time designate in a written notice to the other party.

20. If any provision, clause, word or designation of this Agreement is held to be invalid by any court of competent jurisdiction, such provision, clause, word, or designation shall be deemed to be excised from this Agreement and the invalidity thereof shall not affect any other provision, clause, word, or designation contained herein.

21. That the term of this Annexation Agreement shall be for a period of twenty (20) years from the date of the enactment of an ordinance approving the agreement.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by their proper officers duly authorized to execute same, the day and year first written above.

CHICAGO TITLE LAND TRUST COMPANY, as Trustee and as Successor to North Star Trust Company, Successor to Harris Bank, Successor to First National Bank of Joliet, under a Trust Agreement Dated October 21, 1979 and known as Trust Number 1689.

AND

Midland States Bank, as Trustee under the Trust Agreement Dated December 18, 2012 and known as Trust Number 1901,

OWNERS:

By: Ed James  
Ed James, Trustee, and sole beneficiary of said Trust

VILLAGE OF BOLINGBROOK

[Signature]  
Mayor

ATTEST:

Maria M. Bator  
Village Clerk

**LEGAL DESCRIPTION SUBJECT TO CHANGE WHEN PLAT COMPLETED**

**EXHIBIT A  
TO PETITION FOR ANNEXATION  
TO THE VILLAGE OF BOLINGBROOK**

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN LYING SOUTH & EAST OF THE SOUTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 66 (A/K/A/ F.A.I. ROUTE 55, NOW INTERSTATE 55), (EXCEPT THAT PART TAKEN FOR ROAD WIDENING PER CASE #82ED11), IN WILL COUNTY, ILLINOIS.

PROPERTY INDEX NO: 12-02-21-300-003-0000

COMMONLY KNOWN AS: 11857 South Frontage Road, Romeoville, Illinois 60446

**EXHIBIT A  
TO PETITION FOR ANNEXATION  
TO THE VILLAGE OF BOLINGBROOK**

PARCEL I:

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, IN TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28, AND RUNNING THENCE SOUTH 89 DEGREES 59 MINUTES 57 SECONDS WEST, ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 60.48 FEET TO A POINT IN THE NORTHWESTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 59 MINUTES 57 SECONDS WEST, ALONG SAID NORTH LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 537.70 FEET TO THE SOUTHEASTERLY LINE OF F.A.I. ROUTE NO. 55 (A/K/A/ U.S. ROUTE 66, NOW INTERSTATE 55); THENCE SOUTH 57 DEGREES 33 MINUTES WEST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 60.00 FEET; THENCE SOUTH 43 DEGREES 22 MINUTES 44 SECONDS EAST A DISTANCE OF 365.16 FEET TO THE SAID NORTHWESTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY; THENCE NORTH 48 DEGREES 35 MINUTES 47 SECONDS EAST, ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 450.00 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

PARCEL II:

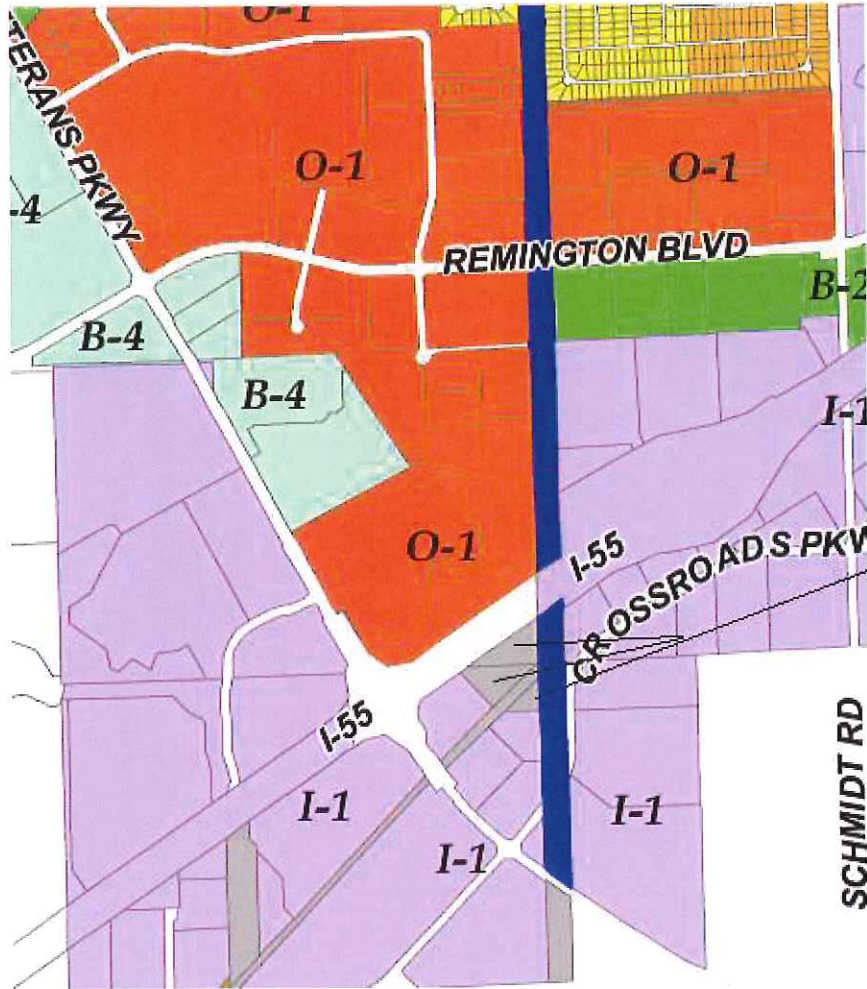
TOGETHER WITH THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, IN TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28, AND RUNNING THENCE SOUTH 01

DEGREES 04 MINUTES 45 SECONDS WEST, ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 81.36 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY, SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 48 DEGREES 35 MINUTES 47 SECONDS WEST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 418.29 FEET; THENCE SOUTH 88 DEGREES 55 MINUTES 15 SECONDS EAST A DISTANCE OF 308.48 FEET TO SAID EAST LINE OF THE NORTHWEST QUARTER; THENCE NORTH 01 DEGREES 04 MINUTES 45 SECONDS EAST, ALONG SAID EAST LINE, A DISTANCE OF 282.50 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

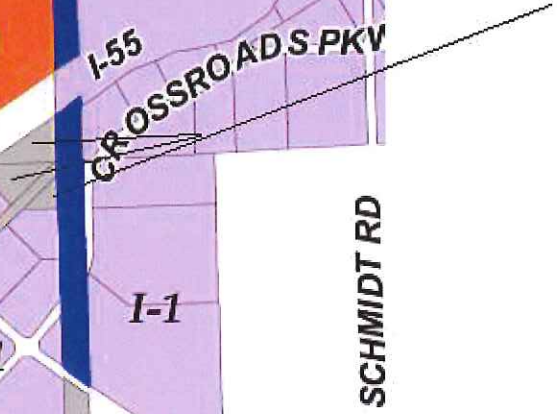
PIN: 12-02-28-100-021

VACANT LAND COMMONLY KNOWN AS: 11865 South Frontage Road, Romeoville, Illinois 60446

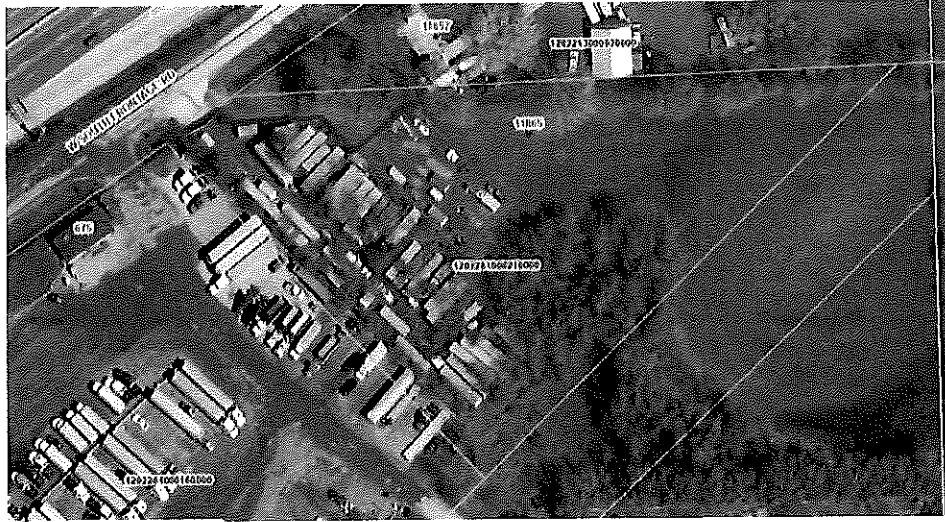
[MAP]



Two parcels to be rezoned I-1 Limited Industrial

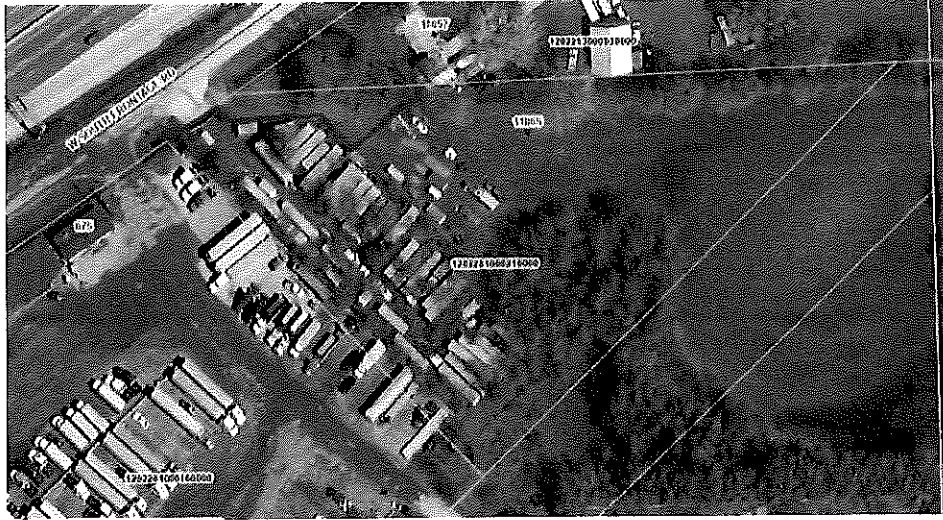


**EXHIBIT B TO ANNEXATION AGREEMENT**

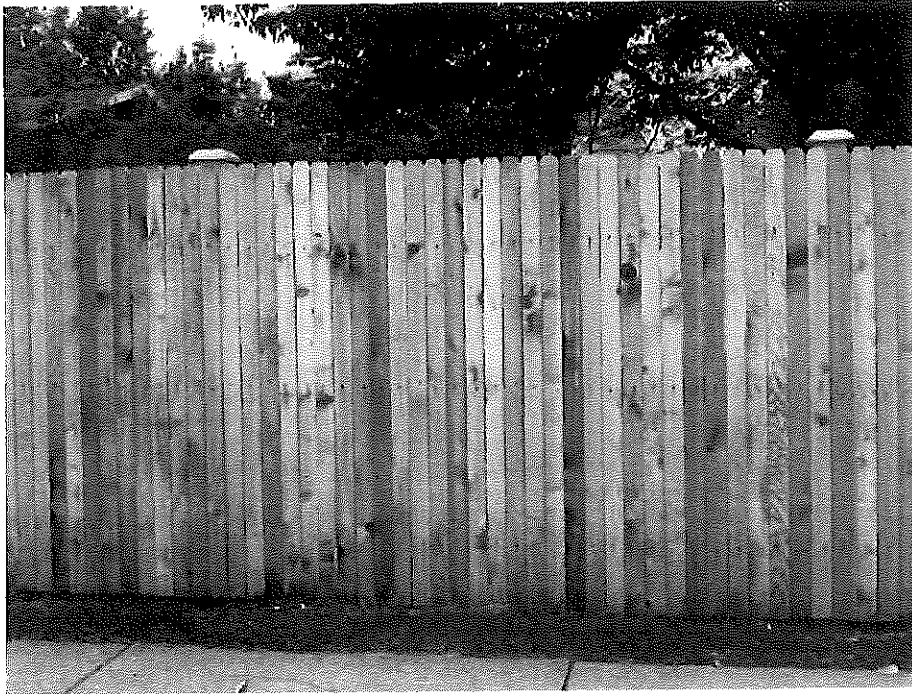




**EXHIBIT 2 TO SETTLEMENT AGREEMENT**



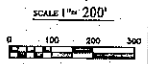
**EXHIBIT 3 TO SETTLEMENT AGREEMENT**



22-016

# PLAT OF ANNEXATION TO THE VILLAGE OF BOLINGBROOK OF

P.I.N. #12-02-21-300-003  
OWNER: MIDLAND STATES BANK TR 1901  
1540 IL ROUTE 59, JOLIET, IL 60431  
P.I.N. #12-02-28-100-021  
OWNER: CHICAGO TITLE LAND TRUST CO TR HTJ 1689  
10 S. LASALLE ST., STE. 2750, CHICAGO, IL 60603



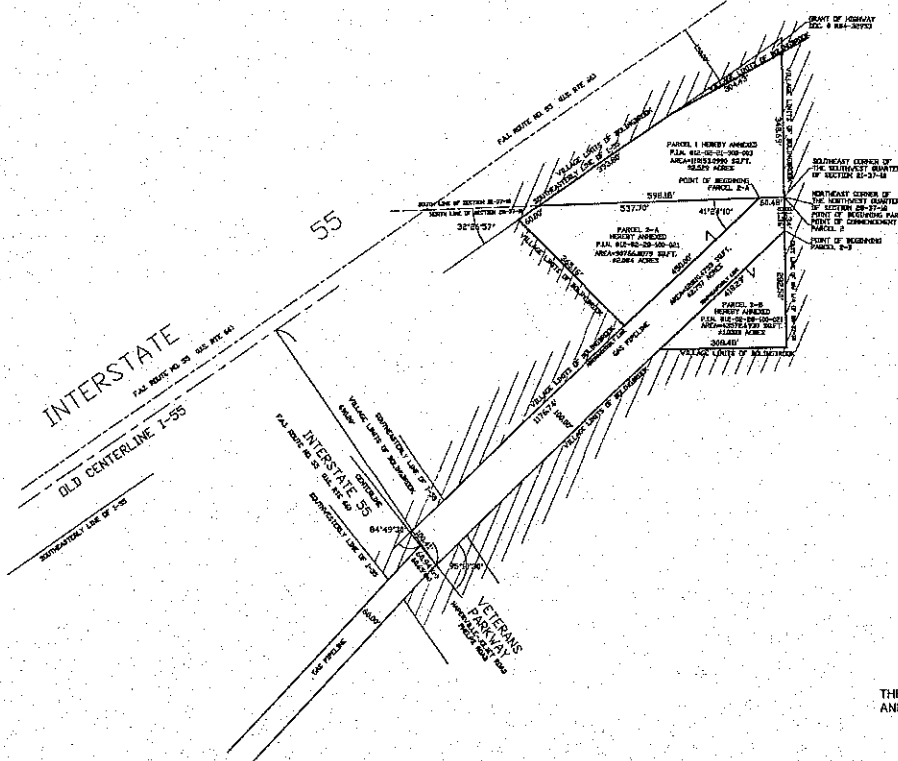
R2022019258  
KAREN A. STUKEL  
WILL COUNTY RECORDER  
RECORDED ON  
03/03/2022 12:59:17 PM  
REC FEE: \$2.00  
IL RENTAL INSG:  
PAGE: 1  
MKE

PREPARED BY/MAIL TO:  
VILLAGE OF BOLINGBROOK/CLERK'S OFFICE  
375 W. BRAIRCLIFF ROAD  
BOLINGBROOK, IL 60440

EXISTING VILLAGE  
LIMITS OF BOLINGBROOK

PARCEL 1, THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN LYING SOUTH & EAST OF THE SOUTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 66 (AKA/ P.A. ROUTE 55, NOW INTERSTATE 55), (EXCEPT THAT PART TAKEN FOR ROAD WIDENING PER CASE #822119), IN WILL COUNTY, ILLINOIS.  
PARCEL 2, THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, IN TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28, AND RUNNING THENCE SOUTH 89 DEGREES 00 MINUTES 57 SECONDS WEST, ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 60.42 FEET; TO A POINT IN THE NORTHWESTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 59 MINUTES 27 SECONDS WEST, ALONG SAID NORTH LINE OF THE NORTHWEST QUARTER, A DISTANCE OF 537.70 FEET TO THE SOUTHEASTERLY LINE OF P.A. ROUTE NO. 55 (AKA/ U.S. ROUTE 66, NOW INTERSTATE 55); THENCE SOUTH 51 DEGREES 33 MINUTES WEST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 60.50 FEET; THENCE SOUTH 43 DEGREES 22 MINUTES 44 SECONDS EAST A DISTANCE OF 365.16 FEET TO THE SAID NORTHWESTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY; THENCE NORTH 48 DEGREES 33 MINUTES 47 SECONDS EAST, ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 450.00 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.  
PARCEL 3, B, TOGETHER WITH THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, IN TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28, AND RUNNING THENCE SOUTH 01 DEGREES 04 MINUTES 45 SECONDS WEST, ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 813.8 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF THE NATURAL GAS PIPELINE COMPANY; SAID POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 48 DEGREES 35 MINUTES 47 SECONDS WEST, ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 418.28 FEET; THENCE SOUTH 81 DEGREES 35 MINUTES 15 SECONDS EAST A DISTANCE OF 308.48 FEET TO SAID EAST LINE OF THE NORTHWEST QUARTER THENCE NORTH 01 DEGREES 04 MINUTES 45 SECONDS EAST, ALONG SAID EAST LINE, A DISTANCE OF 282.50 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

PURSUANT TO ILLINOIS COMPILED STATUTES CHAPTER ENTITLED "ILLINOIS MUNICIPAL CODE", THE NEW BOUNDARY OF THE TERRITORY TO BE ANNEXED SHALL EXTEND TO THE FAR SIDE OF ANY ADJACENT HIGHWAY AND SHALL INCLUDE ALL OF EVERY HIGHWAY WITHIN THE AREA TO BE ANNEXED.  
TOTAL AREA TO BE ANNEXED = 24442.60 SQUARE FEET OR 25612 ACRES.



THE PROPERTIES SHOWN ON THIS PLAT WERE  
ANNEXED BY ORDINANCE 22-016

### VILLAGE BOARD

STATE OF ILLINOIS } SS  
COUNTIES OF WILL }  
AND DUPAGE }

APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF  
BOLINGBROOK, WILL AND DUPAGE COUNTIES, ILLINOIS  
THIS 2d DAY OF February, A.D., 2022.

SIGNED:   
MAYOR  
ATTEST:   
VILLAGE CLERK



STATE OF ILLINOIS } SS  
THIS IS TO CERTIFY THAT I, MICHAEL G. HERWY, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE  
PREPARED THIS PLAT FROM EXISTING PLATS AND RECORDS FOR THE PURPOSE OF ANNEXATION TO  
THE VILLAGE OF BOLINGBROOK, ILLINOIS, AS AS SHOWN BY THE PLAT HEREIN DRAWN.  
DATED THIS 8TH DAY OF NOVEMBER, 2021.  
  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 45-001900  
LICENSE EXPIRES: NOVEMBER 30, 2022

CLIENT: VILLAGE OF BOLINGBROOK  
VICINITY OF I-55 &  
JOB ADDRESS: VETERANS PARKWAY  
JOB NO.: R2406-191

Associated Surveying Group, LLC  
Illinois Prof. Design Firm No. 184-004973  
P.O. Box 810 Bolingbrook, IL 60440  
PH: 630-759-0205 FAX: 630-759-9291

I, MICHAEL G. HERWY, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I AM A MEMBER OF THE ILLINOIS SURVEYORS ASSOCIATION AND AM CURRENTLY LICENSED AS AN ILLINOIS PROFESSIONAL LAND SURVEYOR. I HAVE PREPARED THIS PLAT FROM EXISTING PLATS AND RECORDS FOR THE PURPOSE OF ANNEXATION TO THE VILLAGE OF BOLINGBROOK, ILLINOIS, AS SHOWN BY THE PLAT HEREIN DRAWN. I HAVE CONDUCTED A VISUAL INSPECTION OF THE PLAT AND RECORDS AND HAVE FOUND THEM TO BE CORRECT AND ACCURATE. I HAVE ALSO CONDUCTED A VISUAL INSPECTION OF THE PLAT AND RECORDS AND HAVE FOUND THEM TO BE CORRECT AND ACCURATE. I HAVE ALSO CONDUCTED A VISUAL INSPECTION OF THE PLAT AND RECORDS AND HAVE FOUND THEM TO BE CORRECT AND ACCURATE.

MINUTES OF a Regular meeting of the Board of Park Commissioners of the Bolingbrook Park District, Will County, Illinois, Held at the Recreational Center, 201 Recreation Drive, Bolingbrook, Illinois, within Said District, at 7:00 P.M. on Thursday, April 21, 2022

The President called the meeting to order and directed the Secretary to call the roll.

Upon the roll being called, \_\_\_\_\_ the President, and the following Park Commissioners at said location answered being Present:

\_\_\_\_\_  
\_\_\_\_\_.

The following Park Commissioners were absent from the meeting:

\_\_\_\_\_.

Park Commissioner \_\_\_\_\_ present and the Secretary read in full the following: **RESOLUTION NO. 22-18**

**RESOLUTION AWARDING A CONTRACT IN THE AMOUNT OF \$29,430.00 TO PERM-A-SEAL OF SOUTH HOLLAND, ILLINOIS FOR SPORT COURT SURFACING 2022**

**RESOLUTION NO. 22-18**

**RESOLUTION AWARDING A CONTRACT IN THE AMOUNT OF \$29,430.00 TO PERM-A-SEAL OF SOUTH HOLLAND, ILLINOIS FOR SPORT COURT SURFACING 2022**

WHEREAS, the Bolingbrook Park District (the "Park District") is a duly organized unit of local government organized and operating under the Constitution and laws of the State of Illinois; and

WHEREAS, the Park District derives its rights, power and authority from the various sections of The Park District Code (the "Code"); and

WHEREAS, the Board of Park Commissioners has determined that it is necessary and in the best interests of the Park District and its residents to have the Sport Court Surfacing 2022; and

WHEREAS, Perm-A-Seal of South Holland, Illinois has submitted the lowest responsible bid per the March 31, 2022 bid opening for Sport Court Surfacing 2022 project which consists of providing the materials, labor, and equipment necessary to successfully apply acrylic color coat system to existing basketball and tennis courts and should also include required crack fill and leveler prior to installation of color coat system; and

WHEREAS, the Board of Park Commissioners hereby finds and declares that it is in the best interests of the Park District to award the bid and enter into a contract;

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF PARK COMMISSIONERS OF THE BOLINGBROOK PARK DISTRICT, WILL COUNTY, ILLINOIS, AS FOLLOWS:

SECTION ONE: The recitals set forth hereinabove shall be and are hereby incorporated as findings as if said recitals were fully set forth within this Section One.

SECTION TWO: The Board of Park Commissioners of the Bolingbrook Park District hereby approves the award of the bid to the lowest responsible bidder, Perm-A-Seal of South Holland, Illinois, in the total amount not to exceed \$29,430.00 as set forth in Exhibit 1 attached hereto and made a part hereof. The Board directs Staff to enter into a contract subject to attorney review with Perm-A-Seal of South Holland, Illinois.

SECTION THREE: Any and all policies or resolutions of the Park District that conflict with the provisions of this resolution shall be and are hereby repealed to the extent of such conflict.

SECTION FOUR: This Resolution shall be in full force and effect from and after its passage as provided by law.

PASSED THIS 21<sup>st</sup> day of April, 2022.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

APPROVED THIS 21<sup>st</sup> day of April, 2022.

\_\_\_\_\_  
President, Board of Park Commissioners

ATTEST:

\_\_\_\_\_  
Secretary, Board of Park Commissioners

JMO/og/4.21.22

Park Commissioner \_\_\_\_\_ moved and Park Commissioner \_\_\_\_\_ seconded the motion that the resolution as presented and read be approved.

After a full discussion thereof, the President directed that the roll be called for a vote upon the motion to adopt said resolution as read.

Upon the roll being called, the following Park Commissioners voted:

AYE: \_\_\_\_\_

NAY: \_\_\_\_\_

ABSENT: \_\_\_\_\_

Whereupon the President declared the motion carried and the resolution adopted, approved, and signed the same in open meeting, and directed the Secretary to record same in the records of the Board of Park Commissioners of the Bolingbrook Park District, Will County, Illinois, which was done.

Other business not related to the passage of this resolution was duly transacted at the meeting.

Upon motion duly made and seconded, the meeting was adjourned.

\_\_\_\_\_  
Secretary, Board of Park Commissioners  
Bolingbrook Park District  
Will County, Illinois

STATE OF ILLINOIS    )  
                                  ) SS.  
COUNTY OF WILL     )

I, the undersigned, do hereby certify that I am the duly qualified and acting Secretary of the Board of Park Commissioners (the "Board") of the Bolingbrook Park District, Will County, Illinois (the "District"), and as such official I am the keeper of the records and files of the District and the Board.

I further certify that the foregoing constitutes a full, true, and complete transcript of the minutes of the meeting of said Board held on the 21<sup>st</sup> day of April, 2022 insofar as same relate to the adoption of the following:

**RESOLUTION AWARDING A CONTRACT IN THE AMOUNT OF \$29,430.00 TO PERM-A-SEAL OF SOUTH HOLLAND, ILLINOIS FOR SPORT COURT SURFACING 2022**

a true, correct, and complete copy of which resolution as adopted at said meeting appears in the foregoing transcript of the minutes of said meeting.

I do further certify that the deliberations of the members of the Board of Park Commissioners on the adoption of said resolution were conducted openly, that the vote on the adoption of said resolution was taken openly, that said meeting was called and held at a specified time and place convenient to the public, that notice of said meeting was duly given to all news media requesting such notice, that an agenda for said meeting was posted at the location where said meeting was held and at the principal office of the Board at least 48 hours in advance of the holding of said meeting, that said meeting was called and held in strict compliance with the provisions of "AN ACT in Relation to Meetings," approved July 11, 1957, as amended (the "Open Meetings Act"), and with the provisions of the Park District Code of the State of Illinois, as amended, and that the Board has complied with all of the provisions of said Act and said Code and with all of the procedural rules of the Board in the passage of said ordinance.

IN WITNESS WHEREOF I hereunto affix my official signature at Bolingbrook, Illinois, this 21<sup>st</sup> day of April, 2022.

---

Secretary, Board of Park Commissioners  
Bolingbrook Park District  
Will County, Illinois





Bidder Name: Perm-A-Seal

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_

**CONTRACT DOCUMENTS AND SPECIFICATIONS**

**FOR**

**SPORT COURT SURFACING 2022**

**BOLINGBROOK PARK DISTRICT  
301 RECREATION DRIVE  
BOLINGBROOK, IL 60440  
(630) 739-4696**

**March 31, 2022**

## ADVERTISEMENT FOR BID

The Bolingbrook Park District will accept sealed bids for 'Sport Court Surfacing 2022' until 9:00 am, Thursday, March 31, 2022.

The proposed work consists of the provision of materials, labor, and equipment necessary to successfully apply acrylic color coat system to existing basketball and tennis courts. Work should also include required crack fill and leveler prior to installation of color coat system.

As of 9:00 am, Monday, March 14, 2022, Bid Documents are available at the Buildings & Grounds Facility offices, 301 Recreation Drive, Bolingbrook, Illinois 60440, (630) 739-4696.

Bids will be publicly opened and read at 9:00 am, Thursday, March 31, 2022 at the Buildings & Grounds Facility, 301 Recreation Drive, Bolingbrook, Illinois 60440. Bids received after this time will be returned unopened. No oral proposals or modifications will be considered. The park district reserves the right to reject any and/or all bids, to waive any informality, and to accept the bid that is in the best interest of the Bolingbrook Park District. All contracts for the construction of public works are subject to the Illinois Prevailing Wage Act (820 ILCS 130/1-12).

All proposals must include a ten percent (10%) Bid Guarantee. No bidder may withdraw his proposal after the hour set for the opening thereof, or before award of the contract, unless said award is delayed for a period exceeding thirty (30) calendar days.

## INSTRUCTIONS TO BIDDERS

- Project Name:** Sport Court Surfacing 2022
- Project Owner:** Bolingbrook Park District  
201 Recreation Drive; Bolingbrook, Illinois 60440
- Base Bid Project Locations:** Indian Chase Meadows Park, 535 Pheasant Chase Drive  
Prairie Trails Park, 1370 Danhof Drive
- Bid Opening:** Thursday, March 31, 2022 at 9:00 am  
Bolingbrook Park District - Building & Grounds Facility  
301 Recreation Drive; Bolingbrook, Illinois 60440
- Project Scope:** The proposed work consists of the provision of materials, labor, and equipment necessary to successfully apply acrylic color coat system to existing basketball and tennis courts. Work should also include required crack fill and leveler prior to installation of color coat system.
- Begin Work:** Work can commence on or after June 20, 2022. The exact work schedule MUST be determined jointly by the contractor and owner.
- Deadline for Questions:** End of day on Friday, March 25, 2022
- Completion Deadline:** On or before August 17, 2022

### **Contract Documents**

The work shall be performed in accordance with the plans and specifications entitled 'Sport Court Surfacing 2022'.

### **Bid Security**

A ten percent (10%) bid security in the form of a bid bond, postal money order, certified check, or cashier's check made payable to the Owner must accompany the bid. Failure to furnish a bid security in the proper form and amount, by the time set for opening of bids, may be cause for rejection of the bid, in the absolute discretion of the Owner.

### **Preparation and Submission of Bids**

Before submitting proposal, each bidder shall examine carefully all documents pertaining to the work and visit the site to verify conditions under which work will be performed. Submission of bid will be considered presumptive evidence that the Bidder has visited the site and is conversant with local facilities and difficulties, the requirements of the documents and of pertinent State or Local Codes, State of Labor and Material Markets, and has made due allowance in his bid for all contingencies. Include in bid all costs of labor, material, equipment, allowance, fees, permits, guarantees, applicable taxes, insurance and contingencies, with overhead and profit necessary to produce a complete project, or to complete those portions of the work covered by the specifications on which proposal is made, including all trades, without further cost to the Owner. Obtain all permits and arrange for all inspections. Pay all fees and costs incurred. No compensation will be allowed by reason of any difficulties which the Bidder could have discovered or reasonably should have discovered prior to bidding.

All proposals must be made upon the bid form furnished by the Owner included herewith and should give the amounts bids for work, in numbers, and must be signed and acknowledged by the Contractor. The proposal submitted must not contain erasures, inter-lineations, or other corrections unless each correction is suitably authenticated by affixing in the margin immediately opposite the correction the surname or surnames of the person or persons signing the bid. The bid form should not be removed from the specification's booklet.

### **Award of Contract**

Award of the contract will be made to the lowest responsive, responsible bidder, as determined by the Owner. The Owner may reject any or all of the bids on any basis and without disclosure of a reason. The failure to make such a disclosure shall not result in accrual of any right, claim, or cause of action by any unsuccessful bidder against the Owner.

### **Non-Discrimination**

During the performance of this contract, the Contractor will not discriminate against any employee or applicant for employment because of race, color, religion, sex, or national origin. The Contractor will take affirmative action to ensure that applicants are employed and that employees are treated during employment without regard to their race, color, religion, sex, or national origin. Such action shall include, but not limited to, the following: employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoffs or termination; rates of pay or other forms of compensation; and, selection for training including apprenticeship. The Contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices setting forth the provisions of this non-discrimination clause.

The Contractor will comply with all provisions of the Equal Employment Opportunity as required by the Human Rights Act and rules and regulations of the Illinois Department of Human Rights published at 44 Ill Administrative Code Section 750, *et seq.*

**Contract and Insurance**

The accepted bidder shall enter into a written contract; provide the Owner with copies of Workman's Compensation and Public Liability Insurance Policies or certificates therefore, within ten (10) calendar days of the "Written Notice to Proceed" and prior to the commencement of work.

**Sales Tax Exemption**

The Bolingbrook Park District is a municipal tax-exempt body. Proof of tax-exempt status is available upon request. Taxes should not be reflected in the bid price.

## GENERAL REQUIREMENTS

### Provisions Included

In resolving inconsistencies among two or more sections of the Contract Documents, precedence shall be given in the following order:

First	Agreement
Second	Laws and Regulations
Third	General Requirements
Fourth	Specifications
Fifth	Contract Drawings
Sixth	Provisions Included

### Extra Work

The Contractor must have a work order for extra work in writing indicating such work and same must be signed by the Owner prior to construction of such work.

### Definitions

- a. Contractor - The person, firm or corporation with whom Owner has entered into the Agreement.
- b. Owner - The Bolingbrook Park District
- c. Contract Documents - The Invitation to Bidders, Instructions to Bidders, Contractor's Bid (including documentation accompanying the Bid any post Bid documentation submitted prior to the Notice of Award), Addenda (which pertain to the Contract Documents), Agreement, Bonds, General Requirements including materials incorporated by the Provisions Included section, Specifications, Plans and/or Drawings as the same are more specifically identified in the Agreement, together with all amendments, modifications, and supplements issued on or after the execution of the Agreement.
- d. Subcontractor - Any person, firm or corporation with a direct contract with the Contractor who acts for or in behalf of the Contractor in executing any part of the Contract, but does not include one who merely furnishes the material.

### Payment

At least ten (10) days before each progress payment fall due (but no more than once a month), the Contractor will submit to the Owner a partial payment estimate filled out and signed by the Contractor covering the work performed during the periods covered by partial payment estimate and supported by such data as the Owner may reasonably require. The Owner will within ten (10) days after receipt of each partial payment estimate, either indicate his approval of payment or present the partial payment estimate to the Contractor indicating in writing his reasons for refusing to approve payment. In the latter case, the Contractor may make the necessary corrections and resubmit the partial payment estimate. The Owner will pay the Contractor within forty-five (45) days of presentation of an approved partial estimate submitted by the last day of the month.

The Owner shall retain ten (10) percent of the amount of each payment until final completion and acceptance of all work covered by the Contract Documents. The Owner at any time, however, after fifty (50) percent of the work has been completed, if he finds that satisfactory progress is being made, may reduce retainage to five (5) percent on the current and remaining estimates. On completion of the work, payment will be made in full including retained percentages less authorized deductions.

The Contractor shall submit Partial Waivers of Lien, including the first payout, from Contractors, Subcontractors, and Materials Suppliers for each payout. Final Payment will be made within approximately thirty (30) days of final inspection and approval and receipt of all waivers, sworn statements, guarantee statements, and other documents set forth in the Contract Documents submitted by the last day of the month.

#### **Indemnification**

Duty to Defend, Indemnify, Give Notice: Contractor shall defend all suits brought against the Owner, and their representatives, officers agents and employees by any person (whether employed by Contractor, or not) for damage to property and/or injury to persons (including death) alleged or claimed to have been caused by or through the performance by Contractor of the work, including work required by Guarantees or the condition of the site, and shall indemnify and hold harmless the Owner, and their representatives, officers, agents, and employees in their individual or their official capacities, from and against all claims, damages, losses and expenses, including attorney's fees, caused by or growing out of, incidental to, the performance of the work covered by these Contract Documents. The Contractor shall pay, liquidate, and discharge all claims or demands for personal injury (including death), and for loss of and damage to all property caused by, growing out of or incidental to the performance of the work by the Contract Documents including, without limiting the foregoing thereto, damage to the work and other property of the Owner and including all damages for the obstruction of private driveways, streets and alleys and all costs and expenses of suits and reasonable attorney's fees.

The obligation set forth in this Section shall, but not by way of limitation, specifically include all claims and judgment arising or alleged to arise under the Illinois laws regarding Structural Work (Illinois Revised Statutes, Chapter 48, Section 60 et. seq.) and regarding the Protection of Adjacent Landowners (Illinois Revised Statutes, Chapter 17 1/2, Section 51 et. seq.). In the event of any such injury (including death) or loss or damage (or claims therefore), the Contractor shall give immediate notice thereof to the Owner. The Contractor shall not be required to indemnify and hold Harmless the individual or their official capacities for such claims or demands which result solely from their own negligence. In any and all claims against the Owner, their respective agents, employees, and representatives in their personal capacities as individuals as well as in their public and official capacities, made by any employee of the Contractor, and Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts they may be liable, the indemnification obligation under this Section shall not be limited in any way by any limitation on the amount or type of damages, compensation or benefits payable by or for the Contractor or any Subcontractor under any Workman's Compensation Act, any Disability Benefit Act or any other Employee Benefit Act.

#### **Permits, Fees and Inspection**

The Contractor shall obtain all permits and arrange for all inspections required by State, County, Local and other authorities having lawful jurisdiction. The Contractor will pay all permit fees.

#### **Subcontracts**

Contractor operating under direct contracts with the Owner may let Subcontractors for the performance of such portions of the work as are usually executed by special trades. All such Subcontractors shall be based on conformance with all pertinent conditions set forth in the Contract Documents. The Contractor shall not, without written consent of the Owner, make any assignments or subcontracts for the execution of any of the works hereby quoted.

### **Bidder's Representative**

Bidder shall, at all times, utilize competent employees, to perform the specified work. Bidder shall provide a competent on-site Site Supervisor who possesses good command of the English language (speaking, reading, and writing) for the work location at all times when the Bidder is providing work. The site supervisor shall be authorized to act on behalf of the Bidder and to supervise the work in a manner that will comply with all requirements of the plans and specifications.

### **Materials and Workmanship**

All materials shall conform to the requirements of the Contract Documents. All materials are subject to the approval by the Owner both before and after incorporation into the project. All materials shall be new, of first quality, the best workmanship, and of the latest design. This does not apply to the incorporation of existing or salvaged materials into the project if specified in the Contract Documents. Any item of labor or material not shown as a separate pay item in the Bid shall be supplies as shown on the plans or required for construction and installed as incidental to the contract.

### **Abandonment**

Should the Bidder abandon or neglect the work, or if the Owner at any time is convinced that the work is unreasonably delayed, or that the conditions of the contract is being willfully violated, or executed carelessly, or in bad faith, he may notify the Bidder in writing, and if his notification be without effect within twenty-four (24) hours after the delivery hereof, then and in that case the contractor shall discontinue all work under the contract and the Owner shall have full authority to make arrangements for the completion of the contract at the expense of the Bidder.

### **Pre-Construction Meeting**

Contractor shall attend a pre-construction meeting with the Owner prior to initiation of the work. At the meeting the Contractor shall present his schedule for performing the work as well as discuss his proposed methodology for performing the work.

### **Protection of the Public, Work, and Property**

The Contractor shall provide and maintain all necessary watchmen, barricades, lights, warning signs, and other signals and take all necessary precautions for the protection of all work from damages, and shall take all reasonable precautions to protect the project property from injury or loss arising in connection with his contract.

The Contractor shall make good any damage, injury or loss to his work and to the property of the Owner resulting from lack of reasonable protective precautions, except such as may be caused by agents or employees of the Owner. He shall adequately protect adjacent private and public property, as provided by law and these specifications.

### **Site Clean-Up**

The Contractor shall keep the site free from accumulations of debris, rubbish, and waste materials at all times. The Contractor shall arrange for the removal and disposition of debris, rubbish, and waste materials at no cost to the Owner. If the Contractor fails to remove any debris, rubbish, or waste materials within five (5) days of written notice to clean the site, the Owner may remove the materials and charge the cost thereof to the Contractor.

When the Contractor's equipment is operated upon an existing pavement used by traffic, the Contractor shall clean the pavement of all dirt and debris at the end of each day's operations, and at other times as



directed by the Owner, the Engineer, or the roads governing authority. The cleaning work shall be considered as incidental to the contract.

### **Insurance**

The Contractor shall not commence work under the Agreement until he has obtained all insurance required, and it has been approved by the Owner. All such insurance shall be purchased only from companies licensed and dully authorized by the Department of Insurance of the State of Illinois to do business in Illinois and to write the types of insurance policies as herein specified. Said companies must have a policy holder's rating of A+ and a financial rating of AAAAA as stated in the latest edition of Best's Insurance Guide. The insurance coverage must be maintained by the Contractor until all work is completed and accepted by the Owner as set forth in the Contract Documents.

- a. Workman's Compensation and occupational disease insurance covering all employees in statutory limits who perform any obligations assumed under Agreement.
- b. Public liability and property damage liability insurance covering all operations under Agreement. Public liability insurance shall be in an amount not less than \$1,000,000 on account of any one occurrence, including accidental death. Property damage insurance shall be in an amount not less than \$1,000,000 for bodily injury per person with an aggregate limit of not less than \$2,000,000.
- c. Automobile liability insurance on all self-propelled vehicles used in connection with Agreement, whether owned, non-owned, or hired. Comprehensive automobile liability insurance shall provide not less than \$1,000,000 per person and \$1,000,000 per accident, and property damage coverage in limits of an amount not less than \$1,000,000 per accident.
- d. Public Liability and Property Damage Insurance for Owner shall include the Owner as named insured under the foregoing Public Liability and Property Damage Insurance or the Contractor shall provide a separate policy for the Owner in accordance with the requirements under the foregoing Public Liability and Property Damage Insurance. Said insurance shall afford the Owner the same protection and in the same amounts as required in Paragraph (b) above, and shall protect the Owner from all claims for bodily injury and property damage arising from its ownership of the premises and general supervision of the work, including claims by employees of the Contractor.

Within ten (10) calendar days after receipt of the " Notice of Award", the Contractor shall file with the Owner, a Certificate of Insurance showing complete coverage of all insurance required by this Section signed by the insurance companies or their authorized agents, certifying to the name and address of the party insured, the description of the work covered by such insurance, the insurance policy numbers, the limits of liability of the policies and the dates of their expirations, with a further certification from said insurance companies that their policies will not be modified amended, changed, canceled or terminated without 30 business days prior written notice to the Owner. Such certification must be in the form acceptable to the Owner. If any form of umbrella or excess coverage policy is utilized by the Contractor, the Owner reserves the right to require a copy of the entire policy. The Bolingbrook Park District shall be named as additional insured. (Use additional insured endorsement - Owners, Lessees or Contractors (Form B) a sample is included in this bid packet).

### **Construction Schedule**

The Contractor shall submit to the Superintendent of Projects & Planning within ten (10) days after the effective date of award a schedule outlining construction methods and a timetable for completion of the project. The construction schedule must be approved by the Superintendent of Projects & Planning prior to commencing work. All work on the project, including punch list, shall be complete by the date indicated in "Instructions to Bidders".

### **Construction Observation**

The Superintendent of Projects & Planning shall observe the work on behalf of the Bolingbrook Park District and will provide general assistance during construction insofar as proper interpretation of the Contract Documents is affected. The Superintendent of Projects & Planning shall not be responsible for the acts of omission of the Contractor's superintendent or other employees.

All materials used and all completed work by the Contractor shall be subject to the observation of the Superintendent of Projects & Planning. The Contractor shall furnish such samples of materials for examination and tests as may be requested by the Superintendent of Projects & Planning and shall furnish information required concerning the nature or source of any materials or equipment which he proposes to use. Any material, equipment, or work which does not satisfactorily meet the Contract Documents may be rejected by the Superintendent of Projects & Planning by giving written notice to the Contractor. All rejected materials, equipment, or work shall be promptly removed and replaced at the Contractor's expense.

### **Laws and Certification**

The Bidder shall at all times observe and comply with all Federal, State and Local laws, regulations and ordinances which in any manner affect the conduct of the work. Any complaint, claim or action brought against the Bidder for failing to observe or comply with any law, ordinance, or regulation shall be the sole responsibility of the Bidder and shall in no way extend to or expose the Owner to liability and the Bidder shall indemnify and hold harmless the Owner from any and all such complaints, claims, or actions. All workmanship and materials shall conform and comply with the requirements of the building ordinances and rules and regulations of all departments and bureaus of the county, city and state having lawful jurisdiction. All of which are hereby made a part of these specifications, or indicated on the drawings.

### **Change Orders**

Changes to facilitate the seal coating project which is in the best interest of the Owner may be made by the Superintendent of Projects & Planning, with the understanding of both parties that no change in contract price is involved. Where proposed changes involve a modification to the contact sum, the contract time, or material change in the work (i.e., other than minor field changes) a written change order shall be prepared by the Bidder and approved by the Superintendent of Projects & Planning prior to any change taking place.

### **Field Representative**

Field representatives may be appointed by the Owner to see that the work is performed in accordance with the Contract Documents. Field representatives shall have the authority to condemn and/or reject defective work and materials. Field representatives shall have no authority to permit deviation from the Contract Documents and the Contractor shall be liable for any deviations made without a written order from the Superintendent of Projects & Planning.

### **Guarantee-Warranty**

The Contractor shall guarantee-warranty all materials for a period of one (1) year from date of acceptance by the Bolingbrook Park District. The warranty shall include all labor and material costs associated with repairs or replacement.

**Substance Abuse Prevention Policy**

Pursuant to P.A. 95-0635 (the "Substance Abuse Prevention on Public Works Act"), employees of the contractor and the employees of the subcontractor are prohibited from the use of drugs or alcohol, as defined in the Act, while performing work on any public works project. Before the contractor or subcontractor commences work, the Contractor and any Subcontractor shall have in place a written Substance Abuse Prevention Program for the prevention of substance abuse among its employees which meets or exceeds the requirements in P.A. 95-0635 or shall have a collective bargaining agreement in effect dealing with the subject matter of P.A. 95-0635.

The Contractor and any Subcontractor shall file with the public body engaged in the construction of the public works: a copy of the substance abuse prevention program along with a cover letter certifying that their program meets the requirements of the Act or a letter certifying that the Contractor or Subcontractor has a collective bargaining agreement in effect dealing with the subject matter of this Act. A certification form is attached and must be completed by the Contractor and each Subcontractor to this Contract.

**Drug-Free Workplace Act**

Pursuant to Ill.Rev.Stat.ch 127 Para 132.311 et. Seq. ("Drug-Free Workplace Act"), the Contractor shall certify with the Owner that it will provide a drug-free workplace. A certification form is attached to this document and must be completed by the Bidder.

**Wage Rates/Prevailing Wage Ordinance**

Each Contractor or Subcontractor performing Work on this project shall comply in all respects with all laws governing the employment of labor, Social Security, and Unemployment Insurance of both the State and Federal government. There shall be paid each employee engaged in Work under this Contract at the site of the Project, no less than the minimum wage for the classifications of labor employed in compliance with 820 ILCS 130/1 et seq., as now existing or hereafter amended. A copy of the "General Prevailing Hourly Rates" is hereafter included.

In accordance with 820 ILCS 130/5, The Contractor and each subcontractor shall make and keep, for a period of not less than 3 years, records of all laborers, mechanics and other workers employed by them on the Project; the record shall include each worker's name, address, telephone number when available, social security number, classification or classifications, the hourly wages paid in each period, the number of hours worked each day, and the starting and ending times of work each day.

The Contractor and each subcontractor shall submit monthly, in person, by mail, or electronically, a certified payroll to the Bolingbrook Park District. The certified payroll shall consist of a complete copy of the records. The certified payroll shall be accompanied by a statement signed by the Contractor or subcontractor which avers that:

- (i) such records are true and accurate;
- (ii) the hourly rate paid to each worker is not less than the general prevailing rate of hourly wages required; and
- (iii) the contractor or subcontractor is aware that filing a certified payroll that he or she knows to be false is a Class B misdemeanor.

Upon two (2) business days' notice, the Contractor and each subcontractor shall make available for inspection the records to the Bolingbrook Park District, its officers and agents, and to the Director of Labor and his deputies and agents at all reasonable hours at a location within the State. The Contractor and each subcontractor shall permit his or her employees to be interviewed on the job, during working hours, by compliance investigators of the Department or the Department of Labor.

# Indian Chase Meadows

- One (1) Tennis Court
- One (1) Basketball Court

# Legend



Legend



300 ft

**Prairie Trails**  
Two (2) Tennis Courts

Prairie Trails Park, Bolingbrook Park District



Google Earth

© 2022 Google

# SPECIFICATIONS

## PART 1 - GENERAL

### 1.1 DESCRIPTION

A. Scope: This guide specification covers the construction and installation of the Acrylic Color Coat System. The work to be performed under this specification includes all labor, equipment, materials and supplies necessary for the installation of the tennis courts included in this contract. Consult with a professional engineer or architect for a formal inspection. The Color Coat System is for the protections, beautification, and surface pace of many recreational surfaces, including tennis courts, basketball courts, playgrounds, handball courts, paddle tennis courts, etc. This surfacing system should be applied only to properly prepared asphalt substrates. The court system is comprised of Acrylic Deep Patch, Acrylic Resurfacer, Color Coat Concentrate and Textured White Line Paint.

B. Court Construction: Refer to the American Sports Builders Association (ASBA) manual. Tennis Courts: A constructions Manual for court construction details. This publication may be obtained by calling the ASBA at 866-501-2722 or visiting [www.sportsbuilders.org](http://www.sportsbuilders.org).

### 1.2 QUALITY ASSURANCE

A. Tennis court surfacing materials shall be PLEXIPAVE (or approved equal).

B. All work shall be done in accordance with American Sports Builders Association (ASBA) guidelines.

### 1.3 SUBMITTALS

A. Submit one set of "PLEXIPAVE Color Coat Specifications" (or approved equal).

B. Submit system components Technical Data Sheets (TDS).

### 1.4 WORKING CONDITIONS & LIMITATIONS

A. Asphalt substrates shall be allowed to cure a minimum of 30 days before any coatings are applied.

B. The substrate shall be CLEAN & DRY before coatings are applied. The surface of the substrate shall be inspected and made sure to be free of grease, oil, dirt and other foreign matter before any coatings are applied. Power wash of surface may be required to achieve such results.

C. Water used in all mixtures should be fresh and potable. 2020 Court Repair. Color Coat, Stripe Multi Locations

D. No part of the surfacing system shall be applied during a rainfall, or when rainfall is imminent and unless the air temperature is at least 50 degrees F (10 degrees Celcius) and rising.

E. No coatings are to be applied if surface temperatures exceed 130 degrees F (54 degrees Celsius).

F. All materials shall be delivered to the job site in sealed containers with the manufacturer's label affixed.

G. Color(s) of acrylic color coating system is to be selected by owner from manufacturer's product color card.

H. If all the above conditions are met, surfacing materials shall have a one-year limited warranty as supplied by the manufacturer.

## **PART 2 – PRODUCTS**

### **2.1 PLEXIPAVE (or approved equal) COLORCOAT MATERIALS ACRYLIC RESURFACER**

#### **A. DESCRIPTION**

Acrylic Resurfacer is an asbestos free, acrylic latex binder developed expressly for job mixing with silica sand to obtain a fast-drying filler coat that reduces surface porosity in asphalt and concrete pavements. As opposed to other filler coat products, multiple applications of Acrylic Resurfacer does not require rolling between coats.

#### **B. SURFACE USES**

Acrylic Resurfacer may be applied over properly prepared asphalt and concrete sub-bases that are to be surfaced with the PLEXIPAVE® or PLEXICUSION® Surfacing Systems.

#### **C. APPLICATION**

Use a 70 Durometer flexible rubber squeegee; 24", 30", 36" width.

#### **D. DRYING TIME**

30 minutes to one hour under optimum outdoor temperature and humidity conditions (70 degrees F, 50% humidity). For indoor application, provide heat and air circulation to expedite drying.

#### **E. MIXING**

A variety of sand gradations can be used depending on the surface condition to be treated. Quantities of sand and water will vary depending on the sand gradation. When using finer gradation, less sand should be used to maintain strength in the mix. For leveling or patching, Court Patch Binder mixes should be used (see specs Section 10.14e of California Products Corporation). Resurfacer Mix (for squeegee application) Acrylic Resurfacer 55 gallons Water (clear and potable) 20-40 gallons Sand (60-80 mesh) 600-900 pounds Liquid Yield 112-138 gallons

#### **F. COVERAGE**

Filler Coat: 15-20 square yards per gallons depending on surface texture and porosity (.05-.07 gals/sq.yd.)  
2020 Court Repair. Color Coat, Stripe Multi Locations

#### **G. LIMITATIONS**

- Apply only when ambient temperature is 50 degrees F and rising
- Do not apply when rain is imminent
- Do not apply when surface temperature is less than 50 degrees F or more than 140 degrees F
- Do not apply over tar emulsion sealers
- Keep containers tightly closed when not in use
- Keep materials from freezing

- Use only with sands free of clay, silt and other foreign materials
- The PLEXIPAVE System will not prevent pavement cracks from occurring

## **2.2 COURT PATCHES**

### **A. DESCRIPTIONS**

Court patch Binder is a high strength acrylic latex bonding liquid designed to mix with Silica Sand and Portland Cement as an easy to use patching compound. The patching mix may be used over new or existing asphalt and concrete surfaces to repair depressions, cracks and other irregularities. Court Patch Binder allows for applications of quick drying leveling patches up to ¾" in depth.

### **B. SURFACE USES**

Over new or existing asphalt and concrete pavement to correct depressions and uneven texture on:

- Tennis Courts
- Outdoor Basketball Courts
- Play Areas
- Pathways and Walks

### **C. APPLICATION**

Use steel trowel and/or metal screed to fill and level depressions, bird baths or irregularities in tennis courts and other recreational pavement areas. Cracks greater than ¼" shall be filled and leveled with a square hand-trowel or broad knife by forcing the Court Patch Binder filler mix into the crack and striking off excess material. Edges may be feathered using a hand trowel and a damp cloth to form a smooth transition from patch to the original surface.

### **D. COLOR**

Neutral

### **E. DRYING TIME**

Applications of Court Patch Binder mixes dry at various rates depending on the type of mineral aggregate, the thickness applied and the weather conditions. Thin applications by squeegee or trowel using fine aggregate will cure and dry in less than one hour. Thick applications (up to ¾") for patching deep bird baths and rough pavement will take a minimum of six hours to dry depending on temperature 2020 Court Repair. Color Coat, Stripe Multi Locations Page 33 of 36 and humidity conditions. Patches should be allowed to cure for 24 hours before applying the PLEXIPAVE® System.

## **2.3 PLEXICOLOR LINE PAINT**

The Line Paint, as designated on drawings and specifications, for use over asphaltic and tar emulsion surfaces including slurry coats, shall conform to the following characteristics and performance. The paint shall be a 100% acrylic emulsion type containing no alkyds, butadiene styrene, or vinyls and shall be thinned with water only. The paint shall also be suitable for application by brush, spray, or roller. All materials used in the manufacturing of paint shall be of good commercial quality entirely suitable for the purpose intended under normal conditions for use. For white color, the opaque portion of the pigment shall be rutile titanium dioxide and the vehicle shall consist of 100% acrylic polymer dispersed in water together with the minimum amounts



of necessary additives; such as pigment dispersants, anti-foaming agents, and preservatives; but no driers shall be used. The white paint shall meet a minimum requirement of total solids (percent by weight of paint) of 51.5% and a maximum pigment content (percent by weight of paint) of 36%. The white paint shall contain not less than 3 pounds per gallon of treated rutile titanium dioxide. A minimum fineness of grind of 4 and a viscosity (Krebs Units) of 80 minimum and 95 maximum is required. The paint shall brush easily and have good flowing, leveling and spreading characteristics and shall be suitable for application by spray equipment or rollers. This paint shall be suitable for use over all types of bituminous surfaces and, when applied over emulsified asphalt, it shall not cause lifting, crazing, peeling, or other damage to the base.

### **PART 3 - EXECUTION**

#### **3.1 INSPECTION**

- A. Inspect asphalt substrate for dryness. Report any discrepancies to the owner.
- B. Substrate shall be broom cleaned by general contractor as required.
- C. Surfacing contractor to approve site and surface conditions prior to proceeding with application of any coatings.

#### **3.2 DESCRIPTION**

This specification covers the application of a new wearing surface texture for Plexipave Tennis Courts and new or existing asphalt concrete tennis courts that have a sound, well-drained base of adequate thickness and stability. Existing surfaces should be properly sloped for good drainage, and free from cracks. The process consists of the repair of any minor depressions, followed by application of the Plexipave System (or approved equal). 2020 Court Repair. Color Coat, Stripe Multi Locations

NOTE: The success of the all-weather characteristics of resurfacing is dependent on a sound base (with good drainage) and asphalt concrete meeting the requirements of The National Asphalt Paving Association and the U.S. Tennis Court and Track Builders Association. Surface variation should not exceed 1/8" in ten feet when measured in any direction with a straightedge and a slope of 1" in 10 feet all in one plane.

#### **3.3 MATERIALS**

- A. Plexipave Court Patch Binder (or approved equal) – shall comply with Specification 10.14 of California Products Corporation.
- B. Plexipatch (or approved equal) – shall comply with Specification 10.21 of California Products Corporation.
- C. Acrylic Resurfacer (or approved equal) – shall comply with Specification 10.8 of California Products Corporation.
- D. Plexipave Color Base (or approved equal) – shall comply with Specification 10.5 of California Products Corporation.
- E. Plexichrome (or approved equal) – shall comply with Specification 10.1 of California Products Corporation.
- F. Plexicolor Line Paint (or approved equal) – shall comply with Specification 10.4 of California Products Corporation.

G. Water – the water used in all mixtures shall be fresh and potable.

### **3.4 CONSTRUCTION**

A. Installation – The surface to be coated must be sound, smooth, and free from dust, dirt, or oily materials. Prior to the application of surfacing materials, the entire surface should be flooded, and checked for minor depressions or irregularities. Any puddled area covering a nickel shall be marked and repaired with Court Patch Binder using the following mix: 100 pounds 60-80 mesh silica sand (dry) 3 gallons Plexipave Court Patch Binder 1-2 gallons Portland Cement (dry) (depending on humidity and temperature) Tack coat consisting of 1-part Court Patch Binder and 2 parts water shall be applied to the patch areas and allowed to dry thoroughly prior to patching. For more information, see CPC Specification 10.14 or 10.21. After patching, the surface shall not vary more than 1/8" in 10 feet measured in any direction.

### **3.5 SURFACE PREPARATION**

In order to provide a smooth, dense underlayment for the Plexipave system, one application of California Acrylic Resurfacer shall be applied to the surface to obtain a coverage of 15-20 sq. yds. per gallon (.07 - .05 gallons per square yard). No application shall be covered by a succeeding application until thoroughly cured. Dilution with water and sand is required utilizing the following mix. 2020 Court Repair. Color Coat, Stripe Multi Locations Page 35 of 36 Acrylic Resurfacer 55 gallons Water (clean and potable) 20-40 gallons Sand (45-60 mesh) 600-900 pounds Liquid Yield 112-138 gallons

### **3.6 FORTIFIED PLEXIPAVE**

Fortified Plexipave shall be applied by rubber bladed squeegee on the clean, dry surface in 3 applications to obtain a total quantity of not less than .15 nor more than .23 gallons per sq. yd. of area, based on the material prior to any dilution. No application shall be covered by a succeeding application until thoroughly cured. Fortified Plexipave can be job mixed as follows:

- Plexipave Color Base 30 gallons
- Plexichrome 20 gallons
- Water 20 gallons

The diluted material shall be homogenous. Segregation before or during application will not be permitted. The finished surface shall have a uniform appearance and be free from ridges and tool marks.

### **3.7 PLAYING LINES**

Four hours minimum after completion of the color resurfacing, 2-inch wide lines shall be accurately located, marked, and painted with Plexicolor Line Paint as specified by US Tennis Association.

Lines should be painted as existing (tennis & basketball). Add lines for pickleball on tennis court at Indian Chase Meadows. Pickleball line color should be approved by Owner prior to installation.

### **3.8 LIMITATIONS**

No part of the construction involving the Plexipave System shall be conducted during rainfall or when rainfall is imminent. The air temperature must be at least 50 degrees F and rising. Do not apply when surface temperature is above 140 degrees F. The Plexipave System will not prevent surface or structural cracks from reoccurring.

## **PART 4 – COURT PATCH MIX**

### **4.1 MIXES**

Depressions shall be applied by steel trowel or metal screed to level the surface to proper grade using the following mix designs. Thin Patches ¼" or Less Thick Patches ¼" or Greater 100 lbs #80-100 Mesh Silica Sand (dry) Use 60-80 Mesh Silica Sand (dry) 3 gallons Court Patch Binder 1-2 gallons Portland Cement (dry) (Minimum 12 lbs; Maximum 24 lbs depending on temperature and humidity) 2020 Court Repair. Mix in a clean mortar box or mortar mixer to a workable consistency. Thoroughly clean and apply a tack coat of 1-part Court Patch Binder diluted with 2 parts water to the area to be patched. Court Patch Binder mix may be applied directly to the depressed area after the tack coat has completely dried. The patch should be allowed to cure for 24 hours prior to the application of the Plexipave Color Surface System. Depressions in excess of ¾" depth must receive multiple applications of Court Patch Binder Mix allowing 24 hours before applying subsequent lifts. Each application of Court Patch Mix must be feathered out to a fine edge. Any rough edges must be rubbed down with an abrasive rubbing stone to remove roughness.

### **4.2 COVERAGE**

Because of the wide variation in surface conditions, porosity and texture, the coverage figures given here are approximately and serve only as a guide: Patching mix: 1 ½ square yards per 100 lbs. batch laid ½" thick 4.3

#### LIMITATIONS

- Allow new asphalt surface 14 days to cure and new concrete 28 days to cure
- Do not use in temps below 55 degrees F or when rain or high humidity is imminent
- Ambient temps must be 55 degrees F and rising
- Keep containers tightly closed when not in use
- Do not apply if surface temp is in excess of 140 degrees F
- DO NOT ADD WATER
- KEEP FROM FREEZING. DO NOT STORE IN HOT SUN

## **PART 5 – PROTECTION**

A. Cure Time. No traffic or other trades shall be allowed on the surface for a period of one week following completion to allow for complete and proper cure of the finish.

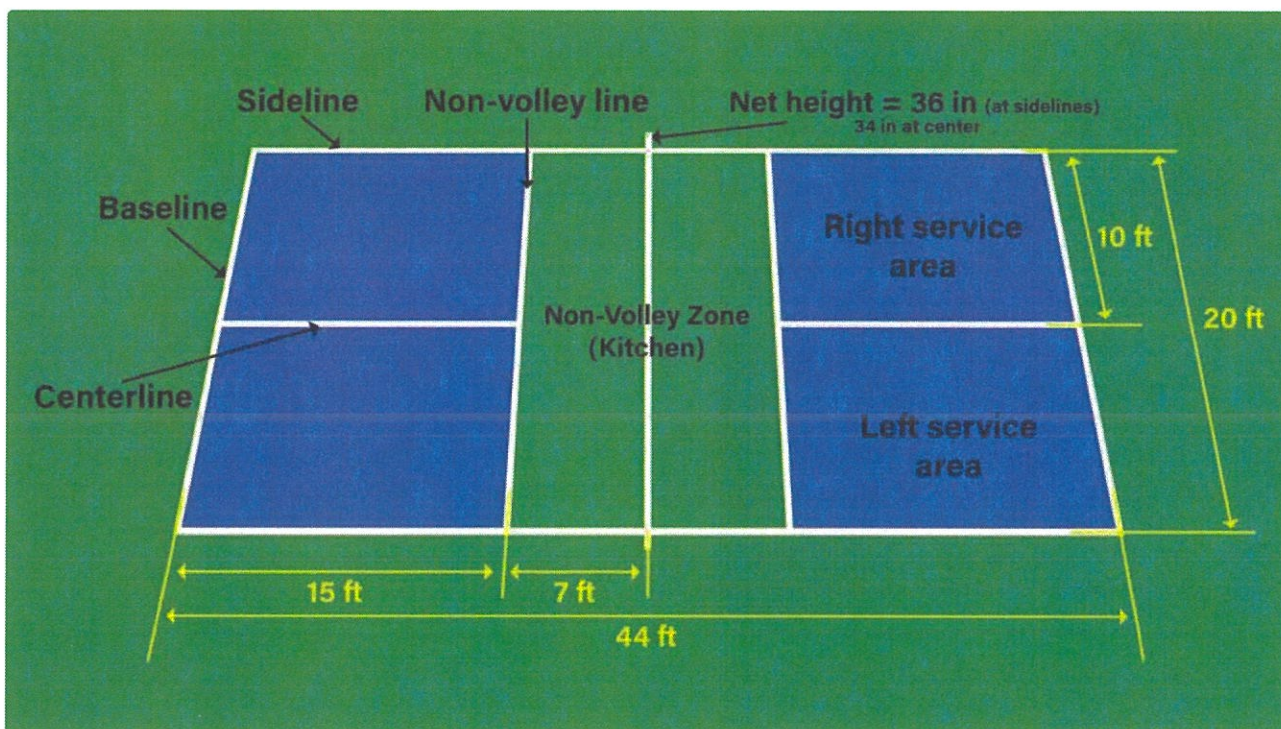
B. Other Trades. It is the responsibility of the general contractor to protect the surface from damage by other trades before acceptance by the owner or the owner's authorized agent.



[Home](#) > [Blog](#)

# Pickleball Court Dimensions Diagram

Posted on December 20, 2019



Pickleball courts are rectangular areas with various lines sectioning them off into different parts. They can be indoor or outdoor and are very similar to courts used for tennis and badminton. Understanding the setup of a pickleball court is critical to understanding the rules of the game. Let's get started.

## History of Pickleball



Pickleball is a fairly new sport, invented in 1965 by three American dads – Joel Pritchard, Bill Bell, and Barney McCallum. In 1976, the first known pickleball tournament was held. After that, the sport took off.

It has since evolved and spread to Canada and many European and Asian countries. By 1990, **pickleball was played in all 50 states** and was even introduced to the Arizona Senior Olympics in 2001. The sport continues to grow.

Inspired by badminton, pickleball pulls ideas from both badminton and tennis. Essential equipment includes a **pickleball net**, court, **paddles**, and a **ball**.

Also read: **[The History of Pickleball](#)**.

## Pickleball Court Diagram

As mentioned previously, pickleball was hugely inspired by badminton. Because of this, a pickleball court is the same size as a doubles badminton court. Pickleball court dimensions are 20 x 44 feet. Unlike tennis, pickleball uses the same court size for both singles and doubles play.

The layout of the court is broken down into 3 main parts. The first area is a non-volley zone, which includes the space from the non-volley line (located 7 feet from the net) to the net. In pickleball, this area is often referred to as the "Kitchen".

Then, there are the service areas. The left service area consists of the left half of the court behind the non-volley line, and the right service area consists of the right half of the court behind the non-volley line. These areas are 10 feet by 15 feet.

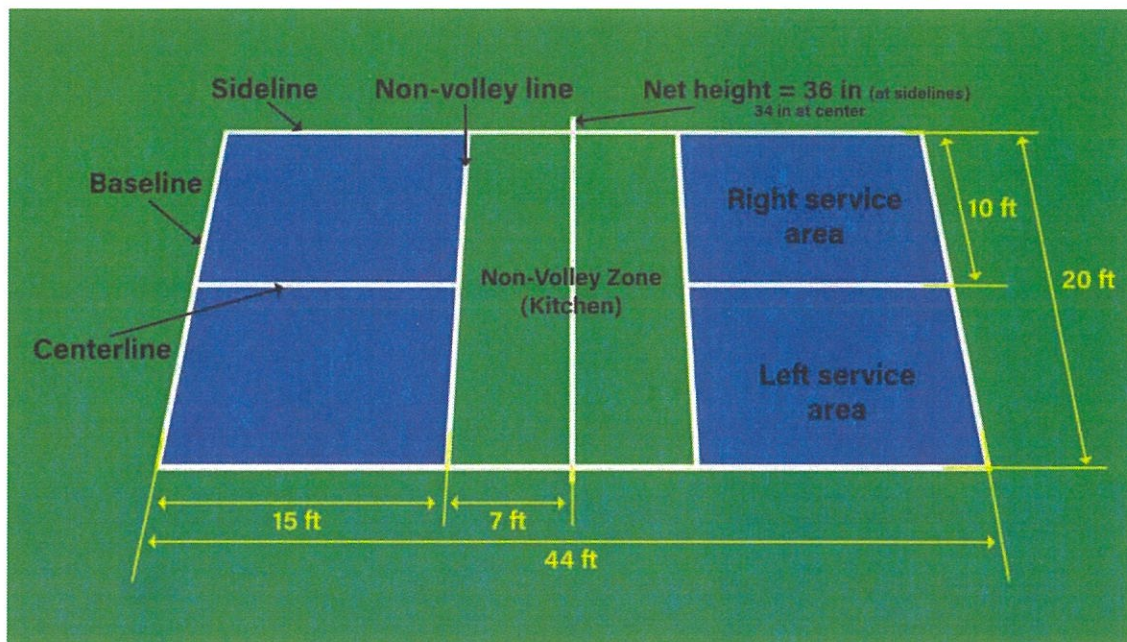
Thanks to its similarity to other pre-existing sports, courts can not only be constructed specifically for pickleball but also may be converted from pre-existing tennis or badminton courts.

Pickleball lines like sidelines, baselines, and centerlines help visibly divide the court into its 3 main sections. The net divides it horizontally in half and each half is identical.



The height of a pickleball net is 36 inches at the furthest sidelines and drops to 34 inches at the center of the court. Overall net size is 20 feet by 3 feet, though it does lose height at the center.

Check out this pickleball court diagram:



## Surface Specifications

Professional grade pickleball courts are coated with AcrylotexPB, a surface product applied by a contractor. The cool thing about pickleball, though, is that there is a do-it-yourself option! Using a **3/4" nap roller**, DIY Pickleball court coating can be applied without a professional. The USAPA recommends PicklePave coating from California Sports Surfaces. This option is a textured acrylic coating made for asphalt and concrete. It is essentially the DIY version of AcrylotexPB. Pickleball court surfaces are similar to outdoor tennis and basketball courts. They're textured with non-aggressive silica sand that prevents slipping.

## Line Rules

Pickleball lines are



2 inches in width and white in color, to contrast with the color of the court. If the ball lands even partially on an exterior line, the ball is in. The point of contact, or the spot on the ball touching the ground, determines the call.



For instance, if the ball has a point of contact beyond the line, but the ball's diameter causes the raised part of the ball to hover over the line, the ball is still out.

The dimensions of the court include dimensions of the lines. Earlier, we talked about the size of a pickleball court, which is 20 feet by 44 feet. These measurements are inclusive of lines. The 2-inch width of the lines is including as part of that overall measurement.

The net splits the 44-foot-long court into two sides. The two baselines on a court are parallel to the net and farthest from it. Sidelines are perpendicular to the net on each side of the court.

The non-volley line is located on both sides of the court, 7 feet from the net. There is also a centerline on each side, which bisects the area between the non-volley line and the baseline, resulting in two service areas.

## The Net

The net should be at least 20 feet long. It is made of



## Will County Prevailing Wage Rates posted on 12/1/2021

Trade Title	Rg	Type	C	Base	Foreman	Overtime				H/W	Pension	Vac	Trng	Other Ins
						M-F	Sa	Su	Hol					
ASBESTOS ABT-GEN	All	ALL		44.40	45.40	1.5	1.5	2.0	2.0	16.10	14.21	0.00	0.90	
ASBESTOS ABT-MEC	All	BLD		38.85	41.96	1.5	1.5	2.0	2.0	14.42	12.61	0.00	0.82	
BOILERMAKER	All	BLD		52.61	57.34	2.0	2.0	2.0	2.0	6.97	22.34	0.00	1.40	
BRICK MASON	All	BLD		48.56	53.42	1.5	1.5	2.0	2.0	11.70	21.06	0.00	1.03	
CARPENTER	All	ALL		50.86	55.95	2.0	2.0	2.0	2.0	11.79	27.24	0.00	0.79	
CEMENT MASON	All	ALL		45.00	47.00	2.0	1.5	2.0	2.0	11.15	29.32	0.00	0.55	
CERAMIC TILE FINISHER	All	BLD		42.80	42.80	1.5	1.5	2.0	2.0	11.45	14.27	0.00	0.94	
COMMUNICATION TECHNICIAN	All	BLD		40.00	44.00	1.5	1.5	2.0	2.0	16.19	14.91	0.00	0.75	1.96
ELECTRIC PWR EQMT OP	All	ALL		56.55	62.05	1.5	1.5	2.0	2.0	12.94	19.11	0.00	3.17	
ELECTRIC PWR GRNDMAN	All	ALL		44.11	62.05	1.5	1.5	2.0	2.0	10.10	14.91	0.00	2.48	
ELECTRIC PWR LINEMAN	All	ALL		56.55	62.05	1.5	1.5	2.0	2.0	12.94	19.11	0.00	3.17	
ELECTRICIAN	All	BLD		48.50	52.87	1.5	1.5	2.0	2.0	16.64	20.26	0.00	1.23	4.21
ELEVATOR CONSTRUCTOR	All	BLD		60.42	67.97	2.0	2.0	2.0	2.0	15.87	19.31	4.83	0.64	
GLAZIER	All	BLD		47.73	49.23	1.5	2.0	2.0	2.0	14.99	23.42	0.00	1.43	
HEAT/FROST INSULATOR	All	BLD		51.80	54.91	1.5	1.5	2.0	2.0	14.42	15.36	0.00	0.82	
IRON WORKER	All	ALL		46.00	50.60	2.0	2.0	2.0	2.0	12.71	28.01	0.00	1.00	
LABORER	All	ALL		45.90	46.65	1.5	1.5	2.0	2.0	16.55	14.71	0.00	0.90	
LATHER	All	ALL		50.86	55.95	2.0	2.0	2.0	2.0	11.79	27.24	0.00	0.79	
MACHINIST	All	BLD		50.68	53.18	1.5	1.5	2.0	2.0	8.93	8.95	1.85	1.47	
MARBLE FINISHER	All	ALL		37.00	50.10	1.5	1.5	2.0	2.0	11.70	19.10	0.00	0.93	
MARBLE MASON	All	BLD		47.71	52.48	1.5	1.5	2.0	2.0	11.70	20.53	0.00	1.02	
MATERIAL TESTER I	All	ALL		35.90		1.5	1.5	2.0	2.0	16.55	14.71	0.00	0.90	
MATERIALS TESTER II	All	ALL		40.90		1.5	1.5	2.0	2.0	16.55	14.71	0.00	0.90	
MILLWRIGHT	All	ALL		50.86	55.95	2.0	2.0	2.0	2.0	11.79	27.24	0.00	0.79	
OPERATING ENGINEER	All	BLD	1	53.60	57.60	2.0	2.0	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	BLD	2	52.30	57.60	2.0	2.0	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	BLD	3	49.75	57.60	2.0	2.0	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	BLD	4	48.00	57.60	2.0	2.0	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	BLD	5	57.35	57.60	2.0	2.0	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	BLD	6	54.60	57.60	2.0	2.0	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	BLD	7	56.60	57.60	2.0	2.0	2.0	2.0	21.40	18.60	2.00	2.40	



OPERATING ENGINEER	All	FLT	1	59.35	59.35	1.5	1.5	2.0	2.0	20.90	17.85	2.00	2.15	
OPERATING ENGINEER	All	FLT	2	57.85	59.35	1.5	1.5	2.0	2.0	20.90	17.85	2.00	2.15	
OPERATING ENGINEER	All	FLT	3	51.50	59.35	1.5	1.5	2.0	2.0	20.90	17.85	2.00	2.15	
OPERATING ENGINEER	All	FLT	4	42.80	59.35	1.5	1.5	2.0	2.0	20.90	17.85	2.00	2.15	
OPERATING ENGINEER	All	FLT	5	60.85	59.35	1.5	1.5	2.0	2.0	20.90	17.85	2.00	2.15	
OPERATING ENGINEER	All	FLT	6	41.00	59.35	1.5	1.5	2.0	2.0	20.90	17.85	2.00	2.15	
OPERATING ENGINEER	All	HWY	1	51.80	55.80	1.5	1.5	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	HWY	2	51.25	55.80	1.5	1.5	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	HWY	3	49.20	55.80	1.5	1.5	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	HWY	4	47.80	55.80	1.5	1.5	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	HWY	5	46.60	55.80	1.5	1.5	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	HWY	6	54.80	55.80	1.5	1.5	2.0	2.0	21.40	18.60	2.00	2.40	
OPERATING ENGINEER	All	HWY	7	52.80	55.80	1.5	1.5	2.0	2.0	21.40	18.60	2.00	2.40	
PAINTER	All	ALL		49.30	55.46	1.5	1.5	1.5	2.0	13.01	14.74	0.00	1.87	
PAINTER - SIGNS	All	BLD		40.74	45.75	1.5	1.5	2.0	2.0	3.04	3.90	0.00	0.00	
PILEDRIVER	All	ALL		50.86	55.95	2.0	2.0	2.0	2.0	11.79	27.24	0.00	0.79	
PIPEFITTER	All	BLD		52.00	55.00	1.5	1.5	2.0	2.0	11.60	21.85	0.00	2.92	
PLASTERER	All	BLD		45.50	48.23	1.5	1.5	2.0	2.0	16.75	19.04	0.00	1.25	
PLUMBER	All	BLD		52.80	55.95	1.5	1.5	2.0	2.0	16.45	16.75	0.00	1.47	
ROOFER	All	BLD		46.70	50.70	1.5	1.5	2.0	2.0	11.58	14.56	0.00	0.96	
SHEETMETAL WORKER	All	BLD		51.83	54.42	1.5	1.5	2.0	2.0	11.22	19.08	0.00	1.45	2.46
SPRINKLER FITTER	All	BLD		51.75	54.50	1.5	1.5	2.0	2.0	13.90	17.00	0.00	0.75	
STONE MASON	All	BLD		48.56	53.42	1.5	1.5	2.0	2.0	11.70	21.06	0.00	1.03	
TERRAZZO FINISHER	All	BLD		44.54	44.54	1.5	1.5	2.0	2.0	11.45	16.64	0.00	0.97	
TERRAZZO MASON	All	BLD		48.38	51.88	1.5	1.5	2.0	2.0	11.45	18.10	0.00	1.00	
TILE MASON	All	BLD		49.75	53.75	1.5	1.5	2.0	2.0	11.45	17.98	0.00	1.02	
TRAFFIC SAFETY WORKER	All	HWY		38.50	40.10	1.5	1.5	2.0	2.0	8.90	8.90	0.00	0.90	
TRUCK DRIVER	All	ALL	1	41.70	42.25	1.5	1.5	2.0	2.0	10.15	11.39	0.00	0.15	
TRUCK DRIVER	All	ALL	2	41.85	42.25	1.5	1.5	2.0	2.0	10.15	11.39	0.00	0.15	
TRUCK DRIVER	All	ALL	3	42.05	42.25	1.5	1.5	2.0	2.0	10.15	11.39	0.00	0.15	
TRUCK DRIVER	All	ALL	4	42.25	42.25	1.5	1.5	2.0	2.0	10.15	11.39	0.00	0.15	
TUCKPOINTER	All	BLD		48.25	49.25	1.5	1.5	2.0	2.0	8.79	20.47	0.00	1.01	

**Legend**

**Rg** Region

**Type** Trade Type - All,Highway,Building,Floating,Oil & Chip,Rivers

## C Class

**Base** Base Wage Rate

**OT M-F** Unless otherwise noted, OT pay is required for any hour greater than 8 worked each day, Mon through Fri. The number listed is the multiple of the base wage.

**OT Sa** Overtime pay required for every hour worked on Saturdays

**OT Su** Overtime pay required for every hour worked on Sundays

**OT Hol** Overtime pay required for every hour worked on Holidays

**H/W** Health/Welfare benefit

**Vac** Vacation

**Trng** Training

**Other Ins** Employer hourly cost for any other type(s) of insurance provided for benefit of worker.

## Explanations WILL COUNTY

The following list is considered as those days for which holiday rates of wages for work performed apply: New Years Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day, Christmas Day and Veterans Day in some classifications/counties. Generally, any of these holidays which fall on a Sunday is celebrated on the following Monday. This then makes work performed on that Monday payable at the appropriate overtime rate for holiday pay. Common practice in a given local may alter certain days of celebration. If in doubt, please check with IDOL.

## EXPLANATION OF CLASSES

**ASBESTOS - GENERAL** - removal of asbestos material/mold and hazardous materials from any place in a building, including mechanical systems where those mechanical systems are to be removed. This includes the removal of asbestos materials/mold and hazardous materials from ductwork or pipes in a building when the building is to be demolished at the time or at some close future date.

**ASBESTOS - MECHANICAL** - removal of asbestos material from mechanical systems, such as pipes, ducts, and boilers, where the mechanical systems are to remain.

## CERAMIC TILE FINISHER

The grouting, cleaning, and polishing of all classes of tile, whether for interior or exterior purposes, all burned, glazed or unglazed products; all composition materials, granite tiles, warning detectable tiles, cement tiles, epoxy composite materials, pavers, glass, mosaics, fiberglass, and all substitute materials, for tile made in tile-like units; all mixtures in tile like form of cement, metals, and other materials that are for and intended for use as a finished floor surface, stair treads, promenade roofs, walks, walls, ceilings, swimming pools, and all other places where tile is to form a finished interior or exterior. The mixing of all setting mortars including but not limited to thin-set mortars, epoxies, wall mud, and any other sand and cement mixtures or adhesives when used in the preparation, installation, repair, or maintenance of tile and/or similar materials. The handling and unloading of all sand, cement, lime, tile, fixtures, equipment, adhesives, or any other materials to be used in the preparation, installation, repair, or maintenance of tile and/or similar materials. Ceramic Tile Finishers shall fill all joints and voids regardless of method on all tile work, particularly and especially after installation of said tile work. Application of any and all protective coverings to all types of tile installations including, but not be limited to, all soap compounds, paper products, tapes, and all polyethylene coverings, plywood, masonite, cardboard, and any new type of products that may be used to protect tile installations, Blastrac equipment, and all floor scarifying equipment used in preparing floors to receive tile. The clean up and removal of all waste and materials. All demolition of existing tile floors and walls to be re-tiled.

## COMMUNICATIONS TECHNICIAN

Installation, operation, inspection, maintenance, repair and service of radio, television, recording, voice, sound and vision production and reproduction, telephone and telephone interconnect, facsimile, equipment and appliances used for domestic, commercial, educational and entertainment purposes, pulling of wire through conduit but not the installation of conduit.

#### MARBLE FINISHER

Loading and unloading trucks, distribution of all materials (all stone, sand, etc.), stocking of floors with material, performing all rigging for heavy work, the handling of all material that may be needed for the installation of such materials, building of scaffolding, polishing if needed, patching, waxing of material if damaged, pointing up, caulking, grouting and cleaning of marble, holding water on diamond or Carborundum blade or saw for setters cutting, use of tub saw or any other saw needed for preparation of material, drilling of holes for wires that anchor material set by setters, mixing up of molding plaster for installation of material, mixing up thin set for the installation of material, mixing up of sand to cement for the installation of material and such other work as may be required in helping a Marble Setter in the handling of all material in the erection or installation of interior marble, slate, travertine, art marble, serpentine, alberene stone, blue stone, granite and other stones (meaning as to stone any foreign or domestic materials as are specified and used in building interiors and exteriors and customarily known as stone in the trade), carrara, sanionyx, vitrolite and similar opaque glass and the laying of all marble tile, terrazzo tile, slate tile and precast tile, steps, risers treads, base, or any other materials that may be used as substitutes for any of the aforementioned materials and which are used on interior and exterior which are installed in a similar manner.

MATERIAL TESTER I: Hand coring and drilling for testing of materials; field inspection of uncured concrete and asphalt.

MATERIAL TESTER II: Field inspection of welds, structural steel, fireproofing, masonry, soil, facade, reinforcing steel, formwork, cured concrete, and concrete and asphalt batch plants; adjusting proportions of bituminous mixtures.

#### OPERATING ENGINEER - BUILDING

Class 1. Asphalt Plant; Asphalt Spreader; Autograde; Backhoes with Caisson Attachment; Batch Plant; Benoto (requires Two Engineers); Boiler and Throttle Valve; Caisson Rigs; Central Redi-Mix Plant; Combination Back Hoe Front End-loader Machine; Compressor and Throttle Valve; Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Conveyor (Truck Mounted); Concrete Paver Over 27E cu. ft; Concrete Paver 27E cu. ft. and Under; Concrete Placer; Concrete Placing Boom; Concrete Pump (Truck Mounted); Concrete Tower; Cranes, All; Cranes, Hammerhead; Cranes, (GCI and similar Type); Creter Crane; Spider Crane; Crusher, Stone, etc.; Derricks, All; Derricks, Traveling; Formless Curb and Gutter Machine; Grader, Elevating; Grouting Machines; Heavy Duty Self-Propelled Transporter or Prime Mover; Highlift Shovels or Front Endloader 2-1/4 yd. and over; Hoists, Elevators, outside type rack and pinion and similar machines; Hoists, One, Two and Three Drum; Hoists, Two Tugger One Floor; Hydraulic Backhoes; Hydraulic Boom Trucks; Hydro Vac (and similar equipment); Locomotives, All; Motor Patrol; Lubrication Technician; Manipulators; Pile Drivers and Skid Rig; Post Hole Digger; Pre-Stress Machine; Pump Cretes Dual Ram; Pump Cretes: Squeeze Cretes-Screw Type Pumps; Gypsum Bulker and Pump; Raised and Blind Hole Drill; Roto Mill Grinder; Scoops - Tractor Drawn; Slip-Form Paver; Straddle Buggies; Operation of Tie Back Machine; Tournapull; Tractor with Boom and Side Boom; Trenching Machines.

Class 2. Boilers; Broom, All Power Propelled; Bulldozers; Concrete Mixer (Two Bag and Over); Conveyor, Portable; Forklift Trucks; Highlift Shovels or Front Endloaders under 2-1/4 yd.; Hoists, Automatic; Hoists, Inside Elevators; Hoists, Sewer Dragging Machine; Hoists, Tugger Single Drum; Laser Screed; Rock Drill (Self-Propelled); Rock Drill (Truck Mounted); Rollers, All; Steam Generators; Tractors, All; Tractor Drawn Vibratory Roller; Winch Trucks with "A" Frame.

Class 3. Air Compressor; Combination Small Equipment Operator; Generators; Heaters, Mechanical; Hoists, Inside Elevators (remodeling or renovation work); Hydraulic Power Units (Pile Driving, Extracting, and Drilling); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Low Boys; Pumps, Well Points; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 4. Bobcats and/or other Skid Steer Loaders; Oilers; and Brick Forklift.

Class 5. Assistant Craft Foreman.

Class 6. Gradall.

Class 7. Mechanics; Welders.

#### OPERATING ENGINEERS - HIGHWAY CONSTRUCTION

Class 1. Asphalt Plant; Asphalt Heater and Planer Combination; Asphalt Heater Scarfire; Asphalt Spreader; Autograder/GOMACO or other similar type machines; ABG Paver; Backhoes with Caisson Attachment; Ballast Regulator; Belt Loader; Caisson Rigs; Car Dumper; Central Redi-Mix Plant; Combination Backhoe Front Endloader Machine, (1 cu. yd. Backhoe Bucket or over or with attachments); Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver over 27E cu. ft.; Concrete Placer; Concrete Tube Float; Cranes, all attachments; Cranes, Tower Cranes of all types: Creter Crane; Spider Crane; Crusher, Stone, etc.; Derricks, All; Derrick Boats; Derricks, Traveling; Dredges; Elevators, Outside type Rack & Pinion and Similar Machines; Formless Curb and Gutter Machine; Grader, Elevating; Grader, Motor Grader, Motor Patrol, Auto Patrol, Form Grader, Pull Grader, Subgrader; Guard Rail Post Driver Truck Mounted; Hoists, One, Two and Three Drum; Heavy Duty Self-Propelled Transporter or Prime Mover; Hydraulic Backhoes; Backhoes with shear attachments up to 40' of boom reach; Lubrication Technician; Manipulators; Mucking Machine; Pile Drivers and Skid Rig; Pre-Stress Machine; Pump Cretes Dual Ram; Rock Drill - Crawler or Skid Rig; Rock Drill - Truck Mounted; Rock/Track Tamper; Roto Mill Grinder; Slip-Form Paver; Snow Melters; Soil Test Drill Rig (Truck Mounted); Straddle Buggies; Hydraulic Telescoping Form (Tunnel); Operation of Tieback Machine; Tractor Drawn Belt Loader; Tractor Drawn Belt Loader (with attached pusher - two engineers); Tractor with Boom; Tractaire with Attachments; Traffic Barrier Transfer Machine; Trenching; Truck Mounted Concrete Pump with Boom; Raised or Blind Hole Drills (Tunnel Shaft); Underground Boring and/or Mining Machines 5 ft. in diameter and over tunnel, etc; Underground Boring and/or Mining Machines under 5 ft. in diameter; Wheel Excavator; Widener (APSCO).

Class 2. Batch Plant; Bituminous Mixer; Boiler and Throttle Valve; Bulldozers; Car Loader Trailing Conveyors; Combination Backhoe Front Endloader Machine (Less than 1 cu. yd. Backhoe Bucket or over or with attachments); Compressor and Throttle Valve; Compressor, Common Receiver (3); Concrete Breaker or Hydro Hammer; Concrete Grinding Machine; Concrete Mixer or Paver 7S Series to and including 27 cu. ft.; Concrete Spreader; Concrete Curing Machine, Burlap Machine, Belting Machine and Sealing Machine; Concrete Wheel Saw; Conveyor Muck Cars (Haglund or Similar Type); Drills, All; Finishing Machine - Concrete; Highlift Shovels or Front Endloader; Hoist - Sewer Dragging Machine; Hydraulic Boom Trucks (All Attachments); Hydro-Blaster; Hydro Excavating (excluding hose work); Laser Screed; All Locomotives, Dinky; Off-Road Hauling Units (including articulating) Non Self-Loading Ejection Dump; Pump Cretes: Squeeze Cretes - Screw Type Pumps, Gypsum Bulker and Pump; Roller, Asphalt; Rotary Snow Plows; Rototiller, Seaman, etc., self-propelled; Self-Propelled Compactor; Spreader - Chip - Stone, etc.; Scraper - Single/Twin Engine/Push and Pull; Scraper - Prime Mover in Tandem (Regardless of Size); Tractors pulling attachments, Sheeps Foot, Disc, Compactor, etc.; Tug Boats.

Class 3. Boilers; Brooms, All Power Propelled; Cement Supply Tender; Compressor, Common Receiver (2); Concrete Mixer (Two Bag and Over); Conveyor, Portable; Farm-Type Tractors Used for Mowing, Seeding, etc.; Forklift Trucks; Grouting Machine; Hoists, Automatic; Hoists, All Elevators; Hoists, Tugger Single Drum; Jeep Diggers; Low Boys; Pipe Jacking Machines; Post-Hole Digger; Power Saw, Concrete Power Driven; Pug Mills; Rollers, other than Asphalt; Seed and Straw Blower; Steam Generators; Stump Machine; Winch Trucks with "A" Frame; Work Boats; Tamper-Form-Motor Driven.

Class 4. Air Compressor; Combination - Small Equipment Operator; Directional Boring Machine; Generators; Heaters, Mechanical; Hydraulic Power Unit (Pile Driving, Extracting, or Drilling); Light Plants, All (1 through 5); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Vacuum Trucks (excluding hose work); Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 5. SkidSteer Loader (all); Brick Forklifts; Oilers.

Class 6. Field Mechanics and Field Welders

Class 7. Dowell Machine with Air Compressor; Gradall and machines of like nature.

#### OPERATING ENGINEER - FLOATING

Class 1. Craft Foreman; Master Mechanic; Diver/Wet Tender; Engineer; Engineer (Hydraulic Dredge).

Class 2. Crane/Backhoe Operator; Boat Operator with towing endorsement; Mechanic/Welder; Assistant Engineer (Hydraulic Dredge); Leverman (Hydraulic Dredge); Diver Tender.

Class 3. Deck Equipment Operator, Machineryman, Maintenance of Crane (over 50 ton capacity) or Backhoe (115,000 lbs. or more); Tug/Launch Operator; Loader/Dozer and like equipment on Barge, Breakwater Wall, Slip/Dock, or Scow, Deck Machinery, etc.

Class 4. Deck Equipment Operator, Machineryman/Fireman (4 Equipment Units or More); Off Road Trucks; Deck Hand, Tug Engineer, Crane Maintenance (50 Ton Capacity and Under) or Backhoe Weighing (115,000 pounds or less); Assistant Tug Operator.

Class 5. Friction or Lattice Boom Cranes.

Class 6. ROV Pilot, ROV Tender

TRAFFIC SAFETY - Effective November 30, 2018, the description of the traffic safety worker trade in this County is as follows: Work associated with barricades, horses and drums used to reduce lane usage on highway work, the installation and removal of temporary, non-temporary or permanent lane, pavement or roadway markings, and the installation and removal of temporary road signs.

#### TRUCK DRIVER - BUILDING, HEAVY AND HIGHWAY CONSTRUCTION

Class 1. Two or three Axle Trucks. A-frame Truck when used for transportation purposes; Air Compressors and Welding Machines, including those pulled by cars, pick-up trucks and tractors; Ambulances; Batch Gate Lockers; Batch Hopperman; Car and Truck Washers; Carry-alls; Fork Lifts and Hoisters; Helpers; Mechanics Helpers and Greasers; Oil Distributors 2-man operation; Pavement Breakers; Pole Trailer, up to 40 feet; Power Mower Tractors; Self-propelled Chip Spreader; Skipman; Slurry Trucks, 2-man operation; Slurry Truck Conveyor Operation, 2 or 3 man; Teamsters; Unskilled Dumpman; and Truck Drivers hauling warning lights, barricades, and portable toilets on the job site.

Class 2. Four axle trucks; Dump Crets and Adgetors under 7 yards; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnapulls or Turnatrailers when pulling other than self-loading equipment or similar equipment under 16 cubic yards; Mixer Trucks under 7 yards; Ready-mix Plant Hopper Operator, and Winch Trucks, 2 Axles.

Class 3. Five axle trucks; Dump Crets and Adgetors 7 yards and over; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnatrailers or turnapulls when pulling other than self-loading equipment or similar equipment over 16 cubic yards; Explosives and/or Fission Material Trucks; Mixer Trucks 7 yards or over; Mobile Cranes while in transit; Oil Distributors, 1-man operation; Pole Trailer, over 40 feet; Pole and Expandable Trailers hauling material over 50 feet long; Slurry trucks, 1-man operation; Winch trucks, 3 axles or more; Mechanic--Truck Welder and Truck Painter.

Class 4. Six axle trucks; Dual-purpose vehicles, such as mounted crane trucks with hoist and accessories; Foreman; Master Mechanic; Self-loading equipment like P.B. and trucks with scoops on the front.

#### TERRAZZO FINISHER

The handling of sand, cement, marble chips, and all other materials that may be used by the Mosaic Terrazzo Mechanic, and the mixing, grinding, grouting, cleaning and sealing of all Marble, Mosaic, and Terrazzo work, floors, base, stairs, and wainscoting by hand or machine, and in addition, assisting and aiding Marble, Masonic, and Terrazzo Mechanics.

#### Other Classifications of Work:

For definitions of classifications not otherwise set out, the Department generally has on file such definitions which are available. If a task to be performed is not subject to one of the classifications of pay set out, the Department will upon being contacted state which neighboring county has such a classification and provide such rate, such rate being deemed to exist by reference in this document. If no neighboring county rate applies to the task, the Department shall undertake a special determination, such special determination being then deemed to have existed under this determination. If a project requires these, or any classification not listed, please contact IDOL at 217-782-1710 for wage rates or clarifications.

#### LANDSCAPING

Landscaping work falls under the existing classifications for laborer, operating engineer and truck driver. The work performed by landscape plantsman and landscape laborer is covered by the existing classification of laborer. The work performed by landscape operators (regardless of equipment used or its size) is covered by the classifications of operating engineer. The work performed by landscape truck drivers (regardless of size of truck driven) is covered by the classifications of truck driver.

#### MATERIAL TESTER & MATERIAL TESTER/INSPECTOR I AND II

Notwithstanding the difference in the classification title, the classification entitled "Material Tester I" involves the same job duties as the classification entitled "Material Tester/Inspector I". Likewise, the classification entitled "Material Tester II" involves the same job duties as the classification entitled "Material Tester/Inspector II".

CONTRACTORS BID  
SPORT COURT SURFACING 2022

Name of Bidder: Perm-A-Seal, Inc.

Address: PO Box 1216, South Holland, IL 60473

Phone: (708)333-8838 Fax: (708)758-1182

Email: info@permaseal.com

Having examined the Contract Documents and having thoroughly examined the site and pertinent areas adjacent thereto, acknowledging the same to be accurate and complete insofar as pertinent details are concerned, we the undersigned agree to furnish all labor, materials, equipment, tools and services or whatever else is required for construction of the project in accordance with the Contract Documents, within the time set forth therein and at the prices included herewith.

The Bidder acknowledges receipt of the following Addenda, which are part of the Contract Documents:  
Numbers                         .

The undersigned agrees to execute a Contract for this work and present the same to the Owner within five (5) days after the date of written notice of the award of the Contract to him. The undersigned further agrees that he will commence work not later than ten (10) days after written notice to proceed and execution and approval of the Contract and the Contract Bond(s) unless otherwise provided, and will diligently prosecute the work in such a manner and with such materials, equipment, and labor as will insure its completion within the time limit specified herein, it being understood and agreed that the completion within the time limit is an essential part of the Contract.

Accompanying this bid is a bid security complying with the requirements of the Contract Documents, for ten percent (10%) of the total base bid price. The amount of the bid security is:

\$2,943.00

(Contractor to fill in Amount)

If this Bid is accepted and the undersigned fails to execute a Contract as required herein, it is hereby agreed that the amount of the check or draft shall become the property of the Owner and shall be considered as payment of damages due to delay of said Contract. In submitting this Bid, it is understood that the right is reserved by the Owner to reject any and all Bids and it is agreed that this Bid may not be withdrawn during the period of days provided in the Contract Documents.

The Bidder agrees to perform all the work described in the Contract Documents for the following price. (All substitutions or deviations from the specifications must be noted and attached to this bid document).

Total Base Bid \$ 29,430.00

Base Bid Amount In Writing Twenty Nine Thousand Four Hundred Thirty & 00/100

Bidders/Contractors shall complete the below bid summaries. Failure to comply shall cause bid to be rejected. Deviations from specifications (please use additional paper if necessary).

**Summary of Base Bid**

<u>Location</u>	<u>Area in S.F</u>	<u>Bid Amount (\$)</u>
Indian Chase Meadows Tennis (1 Court)	<u>7,139 sf</u>	<u>7,971.00</u>
Indian Chase Meadows Basketball (1 Court)	<u>7,139 sf</u>	<u>7,971.00</u>
Prairie Trails Tennis (2 Courts)	<u>12,960 sf</u>	<u>13,488.00</u>
<b>Total Base Bid</b>		<u>\$ 29,430.00</u>

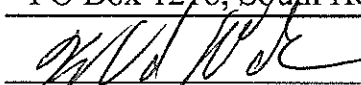


Bidder hereby certifies:

- a. That this Bid is genuine and is not made in the interest of or on behalf of any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation.
- b. That he has not directly or indirectly induced or solicited any other Bidder to put in a false or sham Bid.
- c. That he has not solicited or induced any person, firm, or corporation to refrain from Bidding.
- d. That he has not sought by collusion or otherwise to obtain for himself any advantage over any other Bidder or over the Owner.
- e. That all contractors and subcontractors rendering services under this contract shall comply with all provisions of the Illinois prevailing Wage Act to the extent applicable, 820 ILCS 130/.01 et seq. and as amended January 1, 2010.
- f. That he is not barred from Bidding for this Contract as a result of the violation of Section 33E-3 or Section 33E-4 of the Illinois Criminal Code of 1961 (Ill. Rev. Stat. ch. 38, Paragraph 33E-1 et. seq.).
- g. That he shall comply with provisions of the Veterans Preference Act (Ill. Rev. Stat. ch. 126.5, Paragraph 23).
- h. That he shall comply with the Employment of Illinois on Public Works Act.
- i. That he shall comply with the Illinois Human Rights Act and the rules and Regulations of the Illinois Department of Human Rights published at 44 Illinois Administrative Code Section 750, et seq.

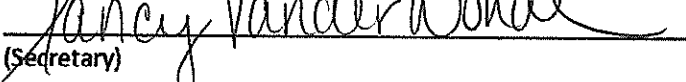
FIRM NAME: Perm-A-Seal, Inc. (SEAL)

ADDRESS: PO Box 1216, South Holland, IL 60473


SIGNED BY:  3-29-22  
(Signature and Date)

Keith Vander Woude  
(Printed Name)

Vice President  
(Title)

ATTEST:   
(Secretary)

Subscribed and Sworn to me before this 29th day of March, 20 22

  
(Notary Public)



**BOLINGBROOK PARK DISTRICT  
CONTRACTOR'S CERTIFICATION**

- (1) Pursuant to P.A. 85-1295 (720 ILCS 5/33E-1 *et seq.*) the undersigned contractor hereby certifies to the Bolingbrook Park District that the contractor is not barred from bidding on the contract as a result of violation of either Section 33 E-3 or 33-4 or that Act.
- (2) The contractor further certifies that the contractor is not delinquent in the payment of any tax administered by the Illinois Department of Revenue or,
- a) is contesting such liability or the amount of tax in accordance with procedures established by the appropriate revenue act, or
  - b) has entered into an agreement with the Department of Revenue for payment of all taxes due and is in compliance with that Agreement.

Dated: 3/29/2022

Perm-A-Seal, Inc.

(Company)

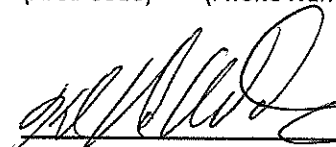
PO Box 1216

(Mailing Address)

South Holland, IL 60473

(708)333-8838

(Area Code) (Phone Number)

  
Vice President  
Primary Contract (Signature), Title

**BOLINGBROOK PARK DISTRICT  
ANTI-COLLUSION AFFIDAVIT OF COMPLIANCE**

Keith Vander Woude, being

first and duly sworn, deposes and says:

That he is Vice President of

Owner

(Partner, Officer, Owner, etc.)

Perm-A-Seal, Inc.

(Contractor)

The party making the foregoing proposal or bid, that such bid or proposal is genuine and not collusive, or sham: that said bidder has not colluded, conspired, connived or agreed, directly or indirectly, with any contractor or person, to put in a sham bid or to refrain from bidding, and has not in any manner, directly or indirectly, sought by agreement or collusion, or communication or conference with any person, to fix the bid price element or said bid, or that of any other contractor, or to secure any advantages against any other or any person interested in the proposed contract.

Keith Vander Woude

(Name of Contractor, if Contractor is an Individual)

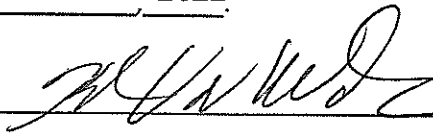
(Name of Partner, if Partner is a Partnership)


(Name of Officer, if Contractor is a Corporation)

The above statements must be subscribed and sworn to before a notary public.  
Subscribed and sworn to

This 29th day of March, 2022.

By



  
(Notary Public)



**BOLINGBROOK PARK DISTRICT  
INDEMNITY HOLD HARMLESS AGREEMENT**

To the fullest extent permitted by law, the Contractor hereby agrees to defend, indemnify and hold harmless the Bolingbrook Park District, its officials, agents and employees against all injuries, deaths, loss, damages, claims, patent claims, suits, liabilities, judgments, cost and expenses, which may in anywise accrue against the Bolingbrook Park District, its officials, agents and employees, arising in whole or in part of in consequence of the performance of this work by the Contractor, its employees, or subcontractors, or which may in anywise result in therefore, except that arising out of the sole legal cause of the Bolingbrook Park District, its agents or employees, the Contractor shall, at its own expense, appear, defend and pay all charges of attorneys and all cost and other expenses arising therefore or incurred in connections therewith, and, if any judgment shall be rendered against the Bolingbrook Park District, its officials, agents and employees, in any such action, the Contractor shall, at its own expense, satisfy and discharge the same.

Contractor expresses, understands and agrees that any performance bond or insurance policies required by this contract, or otherwise provided by the Contractor, shall in no way limit the responsibility to indemnify, keep and save harmless and defend the Bolingbrook Park District, its officials, agents and employees as herein provided.

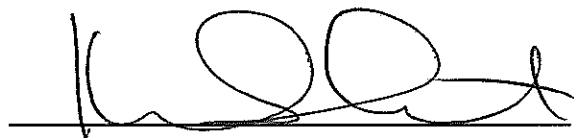
The Contractor further agrees that to the extent that money is due the Contractor, by virtue of this contract as shall be considered necessary in the judgment of the Bolingbrook Park District may be retained by the Park District to protect itself against said loss until such claims, suits, or judgments shall have been settled or discharged and/or evidence to that extent shall have been furnished to the satisfaction of the Bolingbrook Park District.

CONTRACTOR:



A handwritten signature in black ink, appearing to be 'M. M. M.', written over a horizontal line.

ATTEST:



A handwritten signature in black ink, appearing to be 'K. O. O.', written over a horizontal line.

(Notary Public)

**STATEMENT OF EXPERIENCE**

List four sport court surfacing projects in similar size and scope of work your organization has completed in the last year.

1. Company Name: Crown Point Park District  
Contact Person: Jenny Burgess  
Phone: (219)808-1816  
Project Description: Fill cracks, apply color system, stripe courts  
Date of Completion: May 19, 2021
  
2. Company Name: Oak Lawn Park District  
Contact Person: Ryan Gory  
Phone: (708)857-2201  
Project Description: Pressure wash, fill cracks, apply color system and stripe courts  
Date of Completion: October 28, 2021
  
3. Company Name: East Chicago Park District  
Contact Person: Vanessa Hernandez-Orange  
Phone: (219)391-8220  
Project Description: Pressure wash, fill cracks, apply color system and stripe courts  
Date of Completion: June 15, 2021
  
4. Company Name: Somerset Homeowners Association  
Contact Person: Aaron Koch  
Phone: (312)339-7774  
Project Description: Fill cracks, apply color system and stripe courts  
Date of Completion: September 22, 2021

**SUBCONTRACTORS**

The following list includes all subcontractors who will perform work representing five percent or more of the total base bid. The Bidder represents that the subcontractors are qualified to perform the work required.

Category/Trade	Subcontractor Name	Address
1.	NONE	
2.		
3.		
4.		

**SUBSTANCE ABUSE PREVENTION PROGRAM**

Pursuant to Public Act 95-0635, the undersigned hereby certifies that it is in compliance with the terms and provisions of the Substance Abuse Prevention on Public Works Act. In particular, the undersigned hereby represents and warrants to the Bolingbrook Park District as follows:

[Complete either A or B below]

- A. The undersigned representative of the Contractor/Subcontractor certifies that the contracting entity has signed collective bargaining agreements that are in effect for all of its employees, and that deal with the subject matter of Public Act 95-0635.

\_\_\_\_\_  
Contractor/Subcontractor

\_\_\_\_\_  
Name of Authorized Representative (type or print)

\_\_\_\_\_  
Title of Authorized Representative (type or print)

Date: \_\_\_\_\_

\_\_\_\_\_  
Signature of Authorized Representative

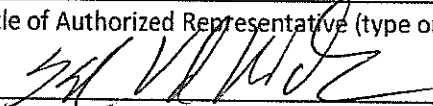
- B. The undersigned representative of the Contractor/Subcontractor certifies that the contracting entity has in place for all of its employees not covered by a collective bargaining agreement that deals with the subject of the Act, the attached substance abuse prevention program that meets or exceeds the requirement of Public Act 95-0635 [attach a copy of the program].

Perm-A-Seal, Inc.  
\_\_\_\_\_  
Contractor/Subcontractor

Keith Vander Woude  
\_\_\_\_\_  
Name of Authorized Representative (type or print)

Vice President  
\_\_\_\_\_  
Title of Authorized Representative (type or print)

Date: 3/29/2022

  
\_\_\_\_\_  
Signature of Authorized Representative

## CONTRACTOR'S DRUG-FREE WORKPLACE CERTIFICATION

Pursuant to Ill.Rev.Stat. ch. 127 Para. 132.311 et. seq. ("Drug-Free Workplace Act), the undersigned contractor hereby certifies to the contracting agency that it will provide a drug-free workplace by:

- (a) Publishing a statement:
  - (1) Notifying employees that the unlawful manufacture, distribution, dispensation, possession, or use of a controlled substance, including cannabis, is prohibited in the grantee's or contractor's workplace.
  - (2) Specifying the actions that will be taken against employees for violations of such prohibition.
  - (3) Notifying the employee that, as a condition of employment on such contract or grant, the employee will:
    - (A) Abide by the terms of the statement; and
    - (B) Notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five days after such conviction.
- (b) Establishing a drug free awareness program to inform employees about:
  - (1) The dangers of drug abuse in the workplace;
  - (2) The grantee's or contractor's policy of maintaining a drug free workplace;
  - (3) Any available drug counseling, rehabilitation, and employee assistance program; and
  - (4) The penalties that may be imposed upon employees for drug violations.
- (c) Making it a requirement to give a copy of the statement required by subsection (a) to each employee engaged in the performance of the contract or grant and to post the statement in a prominent place in the workplace.



**DRUG FREE WORKPLACE CERTIFICATION**  
**PAGE TWO**

(d) Notifying the contracting agency within 10 day after receiving notice under part (B) of paragraph (3) of subsection (a) from an employee or otherwise receiving actual notice of such conviction.

(e) Imposing a sanction on or requiring the satisfactory participation in a drug abuse assistance or rehabilitation program by any employee who is so convicted, as required by Ill.Rev. Stat. ch. 127 Para. 132.315.

(f) Assisting employees in selecting a course of action in the event drug counseling treatment, and rehabilitation is required and indicating that a trained referral team is in place.

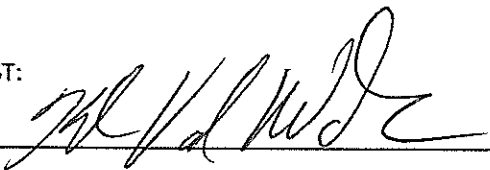
(g) Making a good faith effort to continue to maintain a drug free workplace through implementation of this Section.

Failure to abide by this certification shall subject the Contractor to the penalties provided in Ill.Rev.Stat. ch. 127 Para. 132.316.

Perm-A-Seal, Inc.

\_\_\_\_\_  
Contractor

ATTEST:

\_\_\_\_\_  


DATE: 3/29/2022

## **SUBSTANCE ABUSE PROGRAM**

### **I. STATEMENT OF POLICY**

In a commitment to safeguard the health of our employees and to provide a safe environment for everyone, Perm-A-Seal has established a drug-free workplace policy.

The ultimate goal of this policy is to balance our respect for individual privacy with our need to keep a safe, productive, drug-free environment. We would like to encourage those who use illegal drugs or abuse alcohol to seek help in overcoming their problem. Employees who do so will be able to retain their job position in good standing.

While this company understands that employees and applicants under a physician's care are required to use prescription drugs, abuse of prescribed medications will be dealt with in the same manner as the abuse of illegal substances.

Employees are given notice as of the above date that it is a condition of employment to refrain from reporting to work, or working with the presence of drugs or alcohol in his or her body. Employees are subject to random drug screenings when seen fit.

This policy is implemented pursuant to the drug-free workplace program requirements under The Substance Abuse Prevention on Public Works Projects Act, 820 ILCS 265/1.

### **II. DEFINITIONS**

- A. "Legal Drug"** - Prescribed drug or over-the-counter drug which has been legally obtained and is being used solely for the purpose for which it was prescribed or manufactured.
- B. "Illegal Drug"** - Any drug (a) which is not legally obtainable, (b) which may be legally obtainable but has not been legally obtained, or (c) which is being used in a manner or for a purpose other than as prescribed.

### **III. POLICY AND WORK RULE**

The policy of Perm-A-Seal is to employ a work force free from use of illegal drugs and abuse of alcohol, either on or off the job. Any employee determined to be in violation of this policy is subject to disciplinary action, which may include termination, even for the first offense.

It is a standard of conduct for employees of the company that no employee shall report to work or work with the presence of illegal drugs or alcohol in his or her body. In order to maintain this standard, the company shall establish and maintain the programs and rules set forth below.

## A. Drug Testing of Applicants

All job applicants at this company will undergo screening for the presence of illegal drugs as a condition for employment.

Any applicant with a positive test result will be denied employment at that time but may initiate another inquiry with the company after six months.

## B. Drug Testing of Employees

This company will maintain screening practices to identify employees who use illegal drugs or abuse alcohol, either on or off the job. It shall be a condition of continued employment for all employees to submit to a drug screen:

1. **When there is a reasonable suspicion** to believe that an employee is using or has used illegal drugs or is abusing or has abused alcohol;

Circumstances that could be indicators of a substance-abuse problem and considered reasonably suspicious are as follows:

- **Information that an employee has caused, or contributed to, an accident while at work.** "Accident" includes injury to person(s) and/or damage to equipment or property.
- Observable phenomena while at work - such as direct observation of drug use or of the physical symptoms or manifestations of being under the influence of a drug.
- Abnormal conduct or erratic behavior while at work or a significant deterioration in work performance.
- A report of drug use provided by a reliable and credible source and independently corroborated.
- Evidence that an individual has tampered with a drug test during his employment with the current employer.
- Evidence that an employee has used, possessed, sold, solicited or transferred drugs while working or while on the employer's premises or while operating the employer's vehicle, machinery or equipment.

Whenever possible, the supervisor should have the employee observed by a second supervisor or manager before requiring testing. Employees who refuse substance testing under these circumstances will be terminated and forfeit workers' compensation medical and indemnity benefits.

2. **As a follow-up to Employee Assistance.**

If the employee, in the course of employment, enters an Employee Assistance Program or a drug rehabilitation program, the employer must require the employee to submit to a drug test as a follow-up to such program, unless the employee voluntarily entered the program. In that case, follow-up testing is optional. If follow-up testing is required, it must be conducted at least once a year for a two-year period after completion of the program. Advance notice of a follow-up testing date will not be given to the employee.

3. **When the test is conducted as part of a routinely scheduled employee fitness-for-duty medical**

**examination** that is part of the employer's established policy or that is scheduled routinely for all members of an employment classification or group.

4. **At other times and under such circumstances as deemed appropriate** by company management and current state and/or federal standards. Employees will be given adequate notice of any addition/change/deletion in the company's drug testing requirements.

### **C. Employee Assistance Program**

This company does not provide an Employee Assistance Program (EAP). The purpose of an EAP is to provide help to employees and their families who suffer from alcohol, drug abuse or other problems. We do, however, maintain a list of local providers of employee assistance, drug and alcohol treatment and family services that employees may access without company involvement.

It is the responsibility of an employee to seek assistance from an EAP **before** alcohol and drug problems lead to disciplinary actions. Once a violation of this policy occurs, subsequently using an EAP on a voluntary basis will not necessarily lessen disciplinary action and may, in fact, have no bearing on the determination of appropriate disciplinary action.

An EAP will provide appropriate assessment, evaluation and counseling and/or referral for treatment of drug and alcohol abuse. Such employees may be granted leave with a conditional return to work, depending on successful completion of the agreed-upon appropriate treatment regimen, which may include follow-up testing.

The cost of seeking assistance from an EAP or other provider will be the responsibility of the employee and is subject to provisions of the company's health insurance plan, if any. Please consult the provider for specifics concerning this issue.

### **D. Grounds for Termination or Discipline**

#### **1. Illegal Drug Use**

The following are considered violations of the Perm-A-Seal drug-free workplace policy and are subject to discipline, including discharge or suspension from employment without pay and loss of Workers' Compensation benefits, even for the first offense:

- Refusing to take a company-required drug test
- Failing a company-required drug test (a *positive* test result)
- An employee bringing illegal drugs onto the company's premises or property (including company vehicles)
- Possession of illegal drugs or drug paraphernalia on the employee's person
- Using, consuming, transferring, selling or attempting to sell or transfer any form of illegal drug (as previously defined) while on company business or at any time during the hours between the beginning and ending of the employee's workday, whether on company property or not.

#### **2. Alcohol Abuse**

The following are considered violations of the Perm-A-Seal's drug-free workplace policy and are subject to discipline, including discharge or suspension from employment without pay and loss of Workers' Compensation benefits, even for the first offense:

- Refusing to take a company-required alcohol test
- Failing a company-required alcohol test
- An employee who is under the influence of alcoholic beverages at any time while on company business or at any time during the hours between the beginning and ending of the employee's workday, whether on company property or not (including company vehicles)

An employee shall be determined to be under the influence of alcohol if -

- a. the employee's normal faculties are impaired due to consumption of alcohol
- or if**
- b. the employee has a blood-alcohol level of .04 or higher.

## **E. Confidentiality**

1. All information, interviews, reports, statement memoranda, and drug-test results, written or otherwise, received by the employer through a drug-testing program are confidential.
2. This subsection (confidentiality) does not prohibit an employer, agent of an employer, or laboratory conducting a drug test from having access to employee drug-test information or using such information when consulting with legal counsel in connection with actions brought under or related to this section or when the information is relevant to its defense in a civil or administrative matter.

## **F. Medication Reporting Procedure**

Employees or job applicants may confidentially report to the company's medical review officer (MRO) the use of prescription or nonprescription medications both before and after being tested. Additionally, employees and job applicants shall receive notice of the most common drugs or medications - by brand name or common name, as applicable, as well as by chemical name - which may alter or affect a drug test. (A listing of these is attached.)

## **G. Reporting of Test Results**

Employees or job applicants who receive a positive confirmed test result may contest or explain the result to the medical review officer within 5 working days after receiving written notification of the test result. If the employee's or job applicant's explanation or challenge is unsatisfactory to the medical review officer, the medical review officer shall report a positive test result back to the employer. Employees and job applicants also may contest the drug test result pursuant to law or to rules adopted by the Agency for Health Care Administration (AHCA), as outlined below.

## **H. Challenges to Test Results**

1. A requirement of a drug-free workplace program is that within five working days after receiving the notice of a positive confirmed test result, an employee or job applicant may submit information to the employer explaining or contesting the test result, and why the result does not constitute a violation of the employer's policy. If the employee's or job applicant's explanation or challenge of the positive test result is unsatisfactory to the employer, a written response as to why the employee's or job applicant's explanation is unsatisfactory, along with the report of positive result, shall be provided by the employer to the employee or job applicant; and all such documentation shall be kept confidential by the employer pursuant to confidentiality provisions outlined above, and shall be retained by the employer for at least 1 year.

Methadone	Dolphine, Metadose
Propoxyphene	Darvocet, Darvon N, Dolene, etc.

\*Due to the large number of obscure brand names and constant marketing of new products, this list cannot and is not intended to be all-inclusive.

Purpose Of This Form: The use of this form is to alert you of the possible influence that prescription drugs may have on the outcome of a drug test. It is for your information only at this time. If necessary, any questions about the outcome of a drug test will be addressed by a licensed physician.

### NOTIFICATION OF POSITIVE DRUG TEST

Dear \_\_\_\_\_:

On *(date)* \_\_\_\_\_ you were drug tested according to requirements in our company's drug-free workplace program and policy. In compliance with the State of Florida drug testing standards, your urine/blood specimen was tested twice in a controlled laboratory environment.

We have received the drug test result from our company's medical review officer (MRO), and the result indicates that you have tested positive (failed the test) for the following substance(s):

_____ Cannabinoids (marijuana)	_____ Alcohol
_____ Amphetamines	_____ Cocaine
_____ Phencyclidine (PCP)	_____ Methaqualone
_____ Opiates	_____ Barbiturates
_____ Benzodiazepines	_____ Synthetic Narcotics

In keeping with our company drug-free workplace policy, the following disciplinary procedure(s) will take place immediately:

If you disagree with the test result or have some other related concern, you have the right, within 5 working days after receiving this notice, to submit information to us explaining or contesting the test result, and explaining why the positive test result does not constitute a violation of our drug-free workplace policy. You also have the right, within 180 days of your challenge to the drug test result, to have *your original specimen* retested at another Agency for Health Care Administration certified laboratory. Arrangements and cost will be your responsibility. Other challenge rights to which you may be entitled are included in your copy of our drug-free workplace policy previously distributed to you.

**Bolingbrook Park District  
Prevailing Wage Act  
Contractor/Subcontractor Requirements**

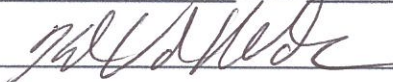
The Illinois Prevailing Wage Act, 820 ILCS 130/.01 *et seq.* ("the Act") required contractors and subcontractors to pay laborers, workers and mechanics performing services on public works projects no less than the "prevailing rate of wages" (hourly cash wages plus fringe benefits) in the county where the work is performed. For information regarding current prevailing wage rates, please refer to the Illinois Department of Labor's website at:

<http://www.state.il.us/agency/idol/rates/rates.HTM>

All contractors and subcontractors rendering services under this contract shall comply with all requirements of the Act to the extent applicable, *including but not limited to*, all wage, notice and record keeping duties.

I hereby agree to adhere to all requirements of the State of Illinois Prevailing Wage Act including changes to the Act in Public Acts 96-0185 and 96-0437 effective January 1, 2010.

Contractor: Perm-A-Seal, Inc. Date: 3/29/2022

Contractor Representative Signature: 

Printed Name: Keith Vander Woude

EMPLOYMENT OF ILLINOIS WORKERS ON PUBLIC WORKS ACT CERTIFICATION

Keith Vander Woude, being first and

duly sworn, deposes and says:

That he is Vice President of

Owner

(Partner, Officer, Owner, etc.)

Perm-A-Seal, Inc.

(Contractor)

The undersigned hereby agrees that, to the extent required by the Employment of Illinois Workers on Public Works Act (30 ILCS 570/1 et seq.), as now existing or hereafter amended, the undersigned shall comply with the Illinois labor employment requirements as set forth in the Act.

Keith Vander Woude

(Name of Contractor, if Contractor is an Individual)

(Name of Partner, if Partner is a Partnership)

(Name of Officer, if Contractor is a Corporation)

The above statements must be subscribed and sworn to before a notary public.  
Subscribed and sworn to

This 29th day of March, 2022

By [Signature]

[Signature]  
(Notary Public)





**BOLINGBROOK PARK DISTRICT  
FAIR EMPLOYMENT PRACTICES  
AFFIDAVIT OF COMPLIANCE**

NOTE: THIS AFFIDAVIT MUST BE EXECUTED AND SUBMITTED WITH THE SIGNED CONTRACT FORM. NO CONTRACTS WILL BE ACCEPTED BY THE BOARD OF COMMISSIONERS OF THE BOLINGBROOK PARK DISTRICT UNLESS SAID AFFIDAVIT IS SUBMITTED CONCURRENTLY WITH THE CONTRACT.

Keith Vander Woude

\_\_\_\_\_  
(Name)

being first duly sworn, deposes and says that he/she is the

Vice President

\_\_\_\_\_  
(Title)

of Perm-A-Seal, Inc.

\_\_\_\_\_  
(Name of Company)

and that he/she has the authority to make the following affidavit, that he/she has knowledge of the Bolingbrook Park District Bid Specifications and Documents and Ordinances relating to Fair Employment Practices and knows and understands the contents thereof: that he/she certifies hereby that it is the policy of

Perm-A-Seal, Inc.

\_\_\_\_\_  
(Name of Company)

to comply with the Equal Employment Opportunity requirements in 44 Illinois Administrative Code Section 750 *et seq.*

**Section I.** This EQUAL EMPLOYMENT OPPORTUNITY CLAUSE is required by the Illinois Human Rights Act and the Rules and Regulations of the Illinois Department of Human Rights published at 44 Illinois Administrative Code Section 750, *et seq.*

**Section II.** In the event of the Contractor's noncompliance with any provision of this Equal Employment Opportunity Clause, the Illinois Human Right Act, or the Rules and Regulations for Public Contracts of the Department of Human Rights (hereinafter referred to as the Department) the Contractor may be declared non-responsible and therefore ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations, and this agreement may be canceled or voided in whole or in part, and other sanctions or penalties may be imposed or remedies involved as provided by statute or regulation.

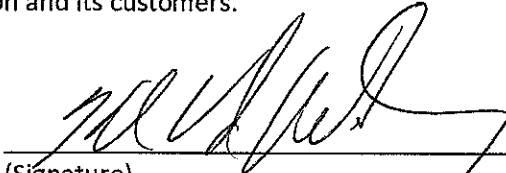
During the performance of this Agreement, the Contractor agrees:

- A. That it will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, marital status, order of protection status, national origin or ancestry, citizenship status, age, physical or mental disability unrelated to ability, military


status or an unfavorable discharge from military service; and, further, that it will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate action to rectify any underutilization.

- B. That, if it hires additional employee in order to perform this Agreement, or any portion hereof, it will determine the availability (in accordance with the Department's Rules and Regulations for Public Contracts) of minorities and women in the area from which it may reasonably recruit and it will hire for each job classification for which employees are hired in a way that minorities and women are not underutilized.
- C. That, in all solicitations or advertisements for employees placed by it or on its behalf, it will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, sexual orientation, marital status, order of protection status, national origin or ancestry, citizenship status, age, physical or mental disability unrelated to ability, military status or an unfavorable discharge from military service.
- D. That it will send to each labor organization or representative of workers with which it has or is bound by a collective bargaining or other agreement or understanding, a notice advising such labor organization or representative of the Contractor's obligations under the Illinois Human Rights Act and Department's Rules and Regulations for Public Contract.
- E. That it will submit reports as required by the Department's Rules and Regulations for Public Contracts, furnish all relevant information as may from time to time be requested by the Department or the contracting agency, and in all respects comply with the Illinois Human Rights Act and Department's Rules and Regulations for Public Contracts.
- F. That it will permit access to all relevant books, records, accounts and work sites by personnel of the contracting agency and Department for purposes of investigation to ascertain compliance with the Illinois Human Rights Act and Department's Rules and Regulations for Public Contracts.
- G. That it will include verbatim or by reference the provisions of this Equal Employment Opportunity Clause in every subcontract it awards under which any portion of this Agreement obligations are undertaken or assumed, so that such provisions will be binding upon such subcontractor. In the same manner as the other provisions of this Agreement, the Contractor will be liable for compliance with applicable provisions of this clause by such subcontractors; and further it will promptly notify the contracting agency and the Department in the event any subcontractor fails or refuses to comply therewith. In addition, the Contractor will not utilize any subcontractor declared by the Illinois Human Rights Department to be ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations.

**Section III.** For the purposes of subsection G of Section II, "subcontract" means any agreement, arrangement or understanding, written or otherwise, between the Contractor and any person under which any portion of the Contractor's obligations under one or more public contracts is performed, undertaken or assumed; the term "subcontract", however, shall not include any agreement, arrangement or understanding in which the parties stand in the relationship of an employer and an employee, or between a Contractor or other organization and its customers.

  
\_\_\_\_\_  
(Signature)

SUBSCRIBED and sworn to before me this 29<sup>th</sup> day of March, 2022

  
\_\_\_\_\_  
(Notary Public)

#171277



**PERFORMANCE BOND**

KNOW ALL MEN BY THESE PRESENTS: That \_\_\_\_\_

as Principal, hereinafter called Contractor, and \_\_\_\_\_  
as Surety, hereinafter call Surety, are held and firmly bound unto the Bolingbrook Park District as Oblige,  
hereinafter call Owner, in the amount of \_\_\_\_\_ (Dollars) (\$ \_\_\_\_\_ (One  
hundred Percent of the Contract Price) for the payment whereof Contractor and Surety bind themselves,  
their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Contractor has by a written agreement dated the \_\_\_\_\_ day of \_\_\_\_\_, 2022  
entered into a contract with Owner for:

**BOLINGBROOK PARK DISTRICT  
SPORT COURT SURFACING 2022**

In accordance with Contract Documents prepared by:

Bolingbrook Park District  
201 Recreation Drive  
Bolingbrook, Illinois 60440

which contract is by reference made a part hereof, and is hereinafter referred as the Contract.

NOW THEREFORE, the condition of this obligation is such that if the said Contractor shall in all respects well and truly keep and perform the said Contract, and shall pay all sums of money due or to become due, for any labor, materials, apparatus, fixtures or equipment furnished for the purpose of constructing the work provided in said contract, and shall defend, indemnify and save harmless the Owner against any and all liens, encumbrances, damages, claims, demands, expenses, costs and charges of every kind except as otherwise provided in said Contract Documents arising out of or in relation to the performance of said work and the provisions of said contract, and shall remove and replace any defects in workmanship or materials which may be apparent or may develop within a period of one (1) year from the date of final acceptance, then this obligation shall be null and void; otherwise it shall remain in full force and effect.

And the said Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the contract or to the work to be performed there under or the specifications accompanying the same shall in any ways affect its obligation on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract or to the work or to the Specifications.

Surety companies executing Bonds must hold Certificates or Authority as Acceptable Sureties (31 CFR 223) and be authorized to transport business in the State where the Project is located.

Signed and sealed the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
(Contractor)

(SEAL)

\_\_\_\_\_  
(Witness)

\_\_\_\_\_  
(Title)

\_\_\_\_\_  
(Surety)

(SEAL)

\_\_\_\_\_  
(Witness)

\_\_\_\_\_  
(Title)

**THIS ENDORSEMENT CHANGES THE POLICY, PLEASE READ IT CAREFULLY**

**ADDITIONAL INSURED - OWNERS, LESSEES OR  
CONTRACTORS (FORM B)**

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

**SCHEDULE**

**Name of Person or Organization**

(If no entry appears above, information required to complete this endorsement will be shown in the Declarations as applicable to this endorsement).

WHO IS AN INSURED (Section II) is amended to include as an insured the person or organization shown in the Schedule, but only with respect to liability arising out of your ongoing operations performed for that insured.

The General Aggregate Limit under LIMITS OF INSURANCE (SECTION III) applies separately to each of your projects away from premises owned by or rented to you.

**AGREEMENT**

**BOLINGBROOK PARK DISTRICT  
SPORT COURT SURFACING 2022**

This Agreement, made and concluded this \_\_\_\_\_ day of \_\_\_\_\_, 2022 between the Bolingbrook Park District, party of the first part hereinafter referred to as the Owner, and \_\_\_\_\_ his/their executors, administrators, successors or assigns, known as the party of the second part, hereinafter referred to as the Contractor.

**WITNESSETH:** That for and in consideration of the payments and agreement mentioned in the Proposal hereto attached, to be made and performed by the Owner, and according to the terms expressed in the Bond referring to these presents, the Contractor agrees with said Owner at his/their own proper cost and expense to do all the work, furnish all materials and all labor necessary to complete the work in accordance with the Contract Documents hereinafter described and in full compliance with all of the plans of this agreement.

And it is also understood the Contract Documents as defined in the General Requirement are all essential documents of this Contract and are part thereof.

In witness thereof, the said parties have executed these presents on the date above mentioned.

**BOLINGBROOK PARK DISTRICT (OWNER)**

**(SEAL)**

By: \_\_\_\_\_

Attest: \_\_\_\_\_

Name: \_\_\_\_\_  
(Type or Print)

Name: \_\_\_\_\_  
(Type or Print)

Title: \_\_\_\_\_

Title: \_\_\_\_\_

\_\_\_\_\_  
(CONTRACTOR)

**(SEAL)**

By: \_\_\_\_\_

Attest: \_\_\_\_\_

Name: \_\_\_\_\_  
(Type or Print)

Name: \_\_\_\_\_  
(Type or Print)

Title: \_\_\_\_\_

Title: \_\_\_\_\_

# Document A310™ – 2010

Conforms with The American Institute of Architects AIA Document 310

## Bid Bond

**CONTRACTOR:**  
*(Name, legal status and address)*

Perm-A-Seal, Inc.  
P.O. Box 1216  
South Holland, IL 60473

**OWNER:**  
*(Name, legal status and address)*

Bolingbrook Park District  
201 Recreation Drive  
Bolingbrook, IL 60440

**SURETY:**  
*(Name, legal status and principal place of business)*

The Ohio Casualty Insurance Company  
175 Berkeley Street  
Boston, MA 02116  
**Mailing Address for Notices**  
Same as above

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

**BOND AMOUNT:** 10% Ten Percent of Amount Bid

**PROJECT:**  
*(Name, location or address, and Project number, if any)*

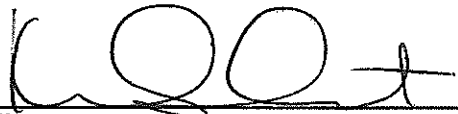
Sport Court Surfacing 2022 at Indian Chase Meadows, Prairie Trails Park, Bolingbrook, IL


The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 31st day of March, 2022.

  
*(Witness)*

  
*(Witness) Dave Roth*

Perm-A-Seal, Inc.  
*(Principal)* *(Seal)*

By:   
*(Title) Vice President*

The Ohio Casualty Insurance Company  
*(Surety)* *(Seal)*

By:   
*(Title) Kristen Schmidt, Attorney-in-Fact*





This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated. Not valid for mortgage, note, loan, letter of credit, bank deposit, currency rate, interest rate or residual value guarantees. For bond and/or Power of Attorney (POA) verification inquiries, please call 610-832-8240 or email HOSUR@libertymutual.com.



Liberty Mutual Insurance Company  
The Ohio Casualty Insurance Company  
West American Insurance Company

### POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint Kristen Schmidt of the city of Orland Park, state of IL its true and lawful attorney-in-fact, with full power and authority hereby conferred to sign, execute and acknowledge the following surety bond:

Principal Name: Perm-A-Seal, Inc.

Obligee Name: Bolingbrook Park District

Surety Bond Number: Bid Bond Bond Amount: See Bond Form

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 12<sup>th</sup> day of March, 2021.



The Ohio Casualty Insurance Company  
Liberty Mutual Insurance Company  
West American Insurance Company

By: David M. Carey  
David M. Carey, Assistant Secretary

STATE OF PENNSYLVANIA ss  
COUNTY OF MONTGOMERY

On this 12<sup>th</sup> day of March, 2021, before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at Kind of Prussia, Pennsylvania, on the day and year first above written.



Commonwealth of Pennsylvania - Notary Seal  
Teresa Pastella, Notary Public  
Montgomery County  
My commission expires March 28, 2025  
Commission number 1126044  
Member, Pennsylvania Association of Notaries

By: Teresa Pastella  
Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

**ARTICLE IV – OFFICERS – Section 12. Power of Attorney.** Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

**ARTICLE XIII – Execution of Contracts – SECTION 5. Surety Bonds and Undertakings.** Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

**Certificate of Designation –** The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

**Authorization –** By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company do hereby certify that this power of attorney executed by said Companies is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 31st day of March, 2022.



By: Renee C. Llewellyn  
Renee C. Llewellyn, Assistant Secretary



Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
<b>Vendor: 11059 - Access One, Inc.</b>					
04/01/2022	5330907	Telephone Services-ACC	100-101-101-1010-70000	Telephone Service	296.47
04/01/2022	5330907	Fiber Network-Admin	100-101-101-1010-70200	Remote Communication Lines	2,128.78
04/01/2022	5330907	Seat License-Admin	100-101-101-1010-70200	Remote Communication Lines	28.80
04/01/2022	5330907	Telephone Services-BG NR	100-170-101-1010-70000	Telephone Service	197.16
04/01/2022	5330907	Fiber Network-BG NR	100-170-101-1010-70200	Remote Communication Lines	325.51
04/01/2022	5330907	Telephone Services-BG NR	100-171-101-1010-70000	Telephone Service	197.16
04/01/2022	5330907	Fiber Network-BG NR	100-171-101-1010-70200	Remote Communication Lines	325.51
04/01/2022	5330907	Telephone Services-ACC	200-102-101-2000-70000	Telephone Service-ACC	296.46
04/01/2022	5330907	Telephone Services-BRAC	200-102-101-2020-70000	Telephone Service-BRAC	227.76
04/01/2022	5330907	FiberNetwork-BRAC	200-102-101-2020-70200	Remote Communication Lines-BRAC	969.40
04/01/2022	5330907	Telephone Services - BRAC	200-250-308-5800-70000	Telephone Service	113.87
04/01/2022	5330907	Telephone Services-BRAC	200-251-290-6000-70000	Telephone Service	113.88
04/01/2022	5330907	Telephone Service - Oaks	300-300-308-9000-70000	Telephone Services-Oaks	246.60
04/01/2022	5330907	Fiber Network - Oaks	300-300-308-9000-70200	Remote Communication Lines	902.65
04/01/2022	5330907	Telephone Services-Ash	400-475-475-5540-70000	Telephone Service-Ashbury's at BR	493.43
04/01/2022	5330907	FiberNetwork Ash	400-475-475-5540-70200	Remote Communication Lines-Ashbury's at BR	651.02
<b>Vendor 11059 - Access One, Inc. Total:</b>					<b>7,514.46</b>
<b>Vendor: 10158 - Advance Auto Parts</b>					
02/28/2022	2377-867638	Truck #5 Hydraulic Booster Credit - NRHT	100-172-101-1010-65200	Vehicle Repair & Service-NR	-198.89
02/28/2022	2377-867639	Hustlers Fuel Filters - NRHT	100-172-101-1010-65300	Equipment Maintenance & Repairs	24.40
03/01/2022	2377-867811	Hustler Mowers Oil - NRHT	100-172-101-1010-65300	Equipment Maintenance & Repairs	220.56
03/23/2022	2377-871278	Air Tool Oil - Grounds	100-171-101-1010-63110	Lubricants and Fluids	7.34
03/28/2022	2377-872090	Truck #4 Gasket - NRHT	100-172-101-1010-65200	Vehicle Repair & Service-NR	27.59
03/08/2022	2377-868847	Sand Pro's Filters - Grounds	100-171-101-1010-65300	Equipment Maintenance & Repairs	120.05
03/09/2022	2377-869068	Kubota Tractors Filters - NRHT	100-172-101-1010-65300	Equipment Maintenance & Repairs	121.74
<b>Vendor 10158 - Advance Auto Parts Total:</b>					<b>322.79</b>
<b>Vendor: 10020 - Airgas USA, LLC</b>					
02/25/2022	9123079702	Welder - Grounds	100-171-101-1010-64000	Equipment	955.00
02/28/2022	9986548990	Oxygen for First Aid	200-250-308-5700-63210	Supplies-First Aid	68.98
03/01/2022	9987005104	Cylinder Lease Renewal Hazmat Charge - Grounds	100-171-101-1010-63190	Fuel Purchases	11.14
03/01/2022	9987005104	Cylinder Lease Renewal (6) - Grounds	100-171-101-1010-63190	Fuel Purchases	558.00
<b>Vendor 10020 - Airgas USA, LLC Total:</b>					<b>1,593.12</b>
<b>Vendor: 10033 - Alpha Graphics</b>					
03/04/2022	106598	Pool Entrance Sign	200-250-308-5800-67000	Marketing-Aquatics	281.29
<b>Vendor 10033 - Alpha Graphics Total:</b>					<b>281.29</b>
<b>Vendor: 11254 - Alpha Media, LLC</b>					
03/31/2022	April 2022	April Geo Fencing for Fitness	200-251-290-6000-67000	Marketing-Facility	1,800.00
<b>Vendor 11254 - Alpha Media, LLC Total:</b>					<b>1,800.00</b>
<b>Vendor: 10038 - Amazon</b>					
02/15/2022	856599838584	Phone Cases-Gymnastics Mgr-Fit/Aq Program Sup.	100-101-101-1010-63070	Computer Supplies	43.98
02/16/2022	439349473455	Enrichment Supplies - Pencil Toppers	200-200-200-2985-63200	Supplies-School Enrichment Programs	15.98

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
02/16/2022	456764863349	Enrichment Supplies - Owl Pellets	200-200-200-2985-63200	Supplies-School Enrichment Programs	122.97
02/16/2022	586668756743	Enrichment Supplies - Geodes	200-200-200-2985-63200	Supplies-School Enrichment Programs	47.95
02/16/2022	599396736595	Glow Party, Dance, and Theatre Supplies	200-200-200-2985-63200	Supplies-School Enrichment Programs	121.13
02/16/2022	599396736595	Glow Party, Dance, and Theatre Supplies	200-213-208-4620-63200	Supplies-Departmental	42.88
02/16/2022	599396736595	Glow Party, Dance, and Theatre Supplies	200-213-208-4630-63000	Supplies-Theatre	34.42
02/16/2022	685348733456	Enrichment Supplies - Owl Pellets	200-200-200-2985-63200	Supplies-School Enrichment Programs	163.96
02/16/2022	935985439583	Glow Party, Dance, and Theatre Supplies	200-200-200-2985-63200	Supplies-School Enrichment Programs	5.49
02/16/2022	935985439583	Glow Party, Dance, and Theatre Supplies	200-213-208-4620-63200	Supplies-Departmental	1.94
02/16/2022	935985439583	Glow Party, Dance, and Theatre Supplies	200-213-208-4630-63000	Supplies-Theatre	1.56
02/21/2022	636464989937	VVSD Enrichment Program Supplies	200-200-200-2965-63200	Supplies-Youth League Programs	251.04
02/22/2022	858453979786	Aq & Fitness Assistant Mgr Laptop Bag	100-101-101-1010-63070	Computer Supplies	30.59
02/23/2022	446367537688	Mardi Gras Supplies	100-101-101-1010-63050	Office Supplies	53.85
02/24/2022	448868896333	Mardi Gras Supplies	100-101-101-1010-63050	Office Supplies	8.49
02/24/2022	887537467334	Portable Speaker for Adult Trips	200-200-210-2970-63200	Supplies-Adult Trips Programs	26.99
03/01/2022	436459568496	HDMI Converter-6 Ash TV's	600-600-650-9610-76000	CARP Expenditures-Computers	141.78
03/03/2022	776967457683	KN95 Disposable Face Masks	810-100-810-9750-63100	Loss Prevention Equipment	79.96
03/04/2022	699977394588	iPhone Adapters for Dance	200-213-208-4620-63200	Supplies-Departmental	17.98
03/05/2022	565583355443	Tree Cookies-VVSD	200-200-200-2985-63200	Supplies-School Enrichment Programs	71.96
03/08/2022	439675799773	Table Cloths, Fabric Markers for Swim Team	200-250-200-5020-63220	Supplies-Swim Team	90.96
03/08/2022	457538453363	Swim Like a Mermaid Event Supplies	200-250-200-5005-63000	Supplies-Special Events	24.94
03/08/2022	699774338979	Broom,Bandaids, Knife,Air Pump,Pool/Party Supplies	200-250-300-8300-63300	Supplies-Pool Parties	25.31
03/08/2022	699774338979	Broom,Bandaids, Knife,Air Pump,Pool/Party Supplies	200-250-308-5700-63210	Supplies-First Aid	5.99
03/08/2022	699774338979	Broom,Bandaids, Knife,Air Pump,Pool/Party Supplies	200-250-308-5800-63000	Supplie-General	40.42
03/08/2022	853568366597	Foam Rolling Supplies	200-251-292-6020-64200	Equipment and Tools-Group Exercise	251.05
03/08/2022	879679474435	TV Mount Adapters-Ash TV Replacements	600-600-650-9610-76000	CARP Expenditures-Computers	53.94
03/09/2022	468474995449	HDMI Cables-Ash TV's	600-600-650-9610-76000	CARP Expenditures-Computers	43.96
				<b>Vendor 10038 - Amazon Total:</b>	<b>1,821.47</b>
<b>Vendor: 10040 - Ambius, Inc.</b>					
04/01/2022	310392CS321210	Plant Rental Facilities 2022-Buildings	100-170-101-1010-62000	Contractual Services	368.54
				<b>Vendor 10040 - Ambius, Inc. Total:</b>	<b>368.54</b>
<b>Vendor: 10070 - Aqua Pure Enterprises, Inc.</b>					
03/10/2022	013926-IN	BRAC Pool Sample Tap - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	135.57
03/02/2022	0139159-IN	BRAC Acid Pump - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	652.57
03/25/2022	0139383-IN	Pool Test Reagents - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	47.58
03/04/2022	0139199-IN	AccuTab Valve - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	54.51
03/08/2022	0139207-IN	Pool Chemicals - Buildings	200-250-308-5800-63100	Supplies-Water Treatment	2,612.63
				<b>Vendor 10070 - Aqua Pure Enterprises, Inc. Total:</b>	<b>3,502.86</b>

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
<b>Vendor: 10082 - Atlas First Access, LLC</b>					
02/28/2022	Q24468	Burnisher Repair - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	158.00
<b>Vendor 10082 - Atlas First Access, LLC Total:</b>					<b>158.00</b>
<b>Vendor: 10087 - AVI Systems, Inc.</b>					
03/25/2022	88788541	Crestron Programming for New TV's at Ashbury's	600-600-650-9610-76000	CARP Expenditures-Computers	640.00
<b>Vendor 10087 - AVI Systems, Inc. Total:</b>					<b>640.00</b>
<b>Vendor: 11376 - Bade Supply</b>					
02/22/2022	53739	Custodial Supplies BRAC - Buildings	100-170-101-1010-63110	Supplies-Custodial	230.98
03/28/2022	55181	Custodial Supplies BRAC - Buildings	100-170-101-1010-63110	Supplies-Custodial	451.20
03/28/2022	55182	Custodial Supplies BRAC - Buildings	100-170-101-1010-63110	Supplies-Custodial	1,574.30
03/28/2022	55183	Custodial Supplies ACC - Buildings	100-170-101-1010-63110	Supplies-Custodial	392.15
03/28/2022	55184	Custodial Supplies B&G - Buildings	100-170-101-1010-63110	Supplies-Custodial	305.00
<b>Vendor 11376 - Bade Supply Total:</b>					<b>2,953.63</b>
<b>Vendor: 11347 - Batteries Plus Bulbs #956</b>					
02/28/2022	P49296941	BRAC Parking Light Bulbs - Buildings	840-100-840-9800-65010	Outdoor Lighting Repairs	497.79
02/28/2022	P49313330	B&G Supplies - DD EM Light Battery - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	24.62
<b>Vendor 11347 - Batteries Plus Bulbs #956 Total:</b>					<b>522.41</b>
<b>Vendor: 10103 - Beth Benner</b>					
03/11/2022	January - March 2022	January - March 2022, Administrative Assistant	100-151-101-1010-63800	Mileage	46.22
<b>Vendor 10103 - Beth Benner Total:</b>					<b>46.22</b>
<b>Vendor: 10226 - BMO Harris MasterCard</b>					
02/21/2022	256641	Sports Awards - Swim Team Awards	200-250-200-5020-63220	Supplies-Swim Team	561.53
02/28/2022	01096	Women in Leisure - Lunch and Learn AQ Manager	200-102-101-1010-61000	Employee Development	25.00
02/28/2022	01098	WIL - Membership AQ & Fit Assistant Manager	200-102-101-1010-61000	Employee Development	40.00
02/28/2022	4774268336020211-9244392	Facebook - Ads Leagues	200-210-200-4020-67000	Marketing-Leagues	25.00
02/28/2022	4774268336020211-9244392	Facebook - Ads Fitness	200-251-292-6020-67000	Marketing-Group Exercise	15.00
02/28/2022	INV0001009	Tasty Biscuit - Staff Lunch	100-101-101-1010-63000	Director Expense	28.98
03/01/2022	200013079	IAPD - Legislative Conf. Director of Facilities	200-102-101-1010-61000	Employee Development	135.00
03/01/2022	3983	City Tech USA - Public Salary Renewal	100-154-101-1010-61200	Dues & Subscriptions	350.00
03/01/2022	INV0001020	IGFOA	100-000-110000	Accounts Receivable	135.00
03/01/2022	INV0001021	IGFOA-HB453 Tracking Data Sem 3/11-Supt B&F	100-152-101-1010-61000	Employee Development	20.00
03/01/2022	INV0001023	Holocaust Museum-Adult Trip	200-200-210-2970-62000	Contractual Services-Adult Trips Programs	348.00
03/01/2022	INV01319072	SportsEngine - Team Unify	200-250-308-5800-61200	Dues/Certifications/Subscriptions	99.95
03/10/2022	31763273	Jegs High Performance - Welding Cart	100-171-101-1010-64000	Equipment	217.99
03/10/2022	852273	ERC Wiping Products - Gym Wipes	200-251-290-6000-63200	Supplies-Facility	550.00
03/10/2022	INV137342335	Zoom - Preschool Parent Partner Meetings	200-214-230-2060-63200	Supplies-Oaks Preschool	14.99
03/14/2022	20361	IPRA - ProConnect Registration Dance Manager	200-102-101-1010-61000	Employee Development	100.00
03/14/2022	20366	IPRA - Proconnect Fee Aquatic Manager	200-102-101-1010-61000	Employee Development	100.00

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/15/2022	14311319	360 Training - Food Manager Exam Aquatic Manager	200-250-308-5800-61200	Dues/Certifications/Subscriptions	99.00
03/15/2022	1532940 CR	HSI MedicOne	200-000-110000	Accounts Receivable	-70.00
03/17/2022	INV0001015	Dominos Pizza-Employee Development	100-157-101-1010-61000	Employee Development	65.21
03/19/2022	INV0000998	Two Brothers Roundhouse - Adult Trip Meal	200-200-210-2970-62000	Contractual Services-Adult Trips Programs	22.60
03/02/2022	INV0000996	Chocolate Cafe Factory- Admission Adult Trip	200-200-210-2970-62000	Contractual Services-Adult Trips Programs	55.00
03/02/2022	INV0000997	BRU Burger Bar	200-000-110000	Accounts Receivable	1.82
03/02/2022	INV0000997	Bru Burger Bar - Adult Trip Lunch	200-200-210-2970-62000	Contractual Services-Adult Trips Programs	31.00
03/20/2022	INV138920361	Zoom Video Communications- Video Services	100-101-101-1010-62200	Computer Maintenance & Support	59.96
03/21/2022	INV0001014	BRGC - Business Lunch	100-101-101-1010-63000	Director Expense	35.00
03/23/2022	1288722862	Register.com-Domain Protection	100-101-101-1010-62200	Computer Maintenance & Support	20.00
03/23/2022	INV0001000	Walgreens - Party Supplies Supt of Facilities	200-102-101-1010-61000	Employee Development	13.25
03/23/2022	INV0001001	Hobby Lobby - Party Supplies Supt of Facilities	200-211-308-8800-61000	Employee Development	127.57
03/24/2022	20006813	Illinois Department of Labor - License Trains/Walls	200-201-306-2380-62000	Contractual Services-Community Services	531.70
03/24/2022	INV0000999	IPRA - Job Posting Crew Leader for Parks	100-171-101-1010-63060	Forms and Notices	180.00
03/03/2022	27285422	Blick Art Materials - Paint for Glow Party	200-200-200-2985-63200	Supplies-School Enrichment Programs	133.52
03/03/2022	INV0000992	BRGC - Mentor Lunch	100-101-101-1010-61000	Employee Development	31.00
03/03/2022	INV0001018	IPRA - Job Posting Day Camp, REACH, Enrichment	200-102-101-1010-87000	Miscellaneous Expense	180.00
03/03/2022	INV0001019	IPRA - Job Posting Gymnastics Manager	200-102-101-1010-87000	Miscellaneous Expense	180.00
03/04/2022	RCD34479378	Envato-Content Management Themes	100-101-101-1010-62230	Website Support	62.00
03/06/2022	55823	Ninja Zone - Monthly Fee	200-211-215-4450-62000	Contractual Services-Lil Ninjas Programs	187.50
03/06/2022	55823	Ninja Zone - Monthly Fee	200-211-215-4455-62000	Contractual Services-Ninjas Programs	187.50
03/08/2022	INV0000993	Dollar Tree - Retirement Grounds Crew Leader	100-171-101-1010-61000	Employee Development	11.25
03/08/2022	INV0000994	Rosati's - Retirement Lunch Grounds Crew Leader	100-171-101-1010-61000	Employee Development	197.03
03/08/2022	INV0000995	Tony's Fresh Market-Retirement Grounds Crew Leader	100-171-101-1010-61000	Employee Development	56.46
03/08/2022	INV0001011	Steak 'n Shake	100-000-110000	Accounts Receivable	1.61
03/08/2022	INV0001011	SteakNShake - Leg. Conf. Lunch	100-101-101-1010-63000	Director Expense	18.50
03/09/2022	220309-67422047-100-3	When2Work - Renewal	200-250-308-5800-61200	Dues/Certifications/Subscriptions	192.00
03/09/2022	EC440109284	Dollar Tree - Canvas Frames Preschool	200-214-230-2060-63200	Supplies-Oaks Preschool	42.00
03/09/2022	EC440109284	Dollar Tree - Canvas Frames Preschool	200-214-232-2000-63200	Supplies-ACC Preschool Programs	12.50
03/09/2022	EC440109284	Dollar Tree - Canvas Frames Preschool	200-214-232-2020-63200	Supplies-BRAC Preschool	22.49
03/09/2022	INV0001002	Hobby Lobby	200-102-101-1010-61000	Employee Development	44.99
03/09/2022	INV0001002	Hobby Lobby - Party Supplies Supt of Facilities	200-102-101-1010-61000	Employee Development	28.48
03/09/2022	INV0001002	Hobby Lobby Refund	200-102-101-1010-61000	Employee Development	-44.99
<b>Vendor 10226 - BMO Harris MasterCard Total:</b>					<b>5,482.39</b>
<b>Vendor: 11761 - Brett Graves</b>					
03/28/2022	March 2022	March 2022 - Spring Intern	200-102-101-1010-63800	Mileage	16.97
<b>Vendor 11761 - Brett Graves Total:</b>					<b>16.97</b>

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
<b>Vendor: 10149 - Burris Equipment Co</b>					
03/11/2022	PS3007316-1	Kubota Tractors Filters - NRHT	100-172-101-1010-65300	Equipment Maintenance & Repairs	201.52
<b>Vendor 10149 - Burris Equipment Co Total:</b>					<b>201.52</b>
<b>Vendor: 10151 - BWM Global, Inc.</b>					
03/02/2022	36668	Giveaway Pens	200-102-101-1010-67000	Marketing-Recreation Services	500.00
<b>Vendor 10151 - BWM Global, Inc. Total:</b>					<b>500.00</b>
<b>Vendor: 11023 - Card Connect,LLC</b>					
03/31/2022	496022300883_03/22	BPD WEB Merchant Processing Fee	200-102-101-1010-62400	Merchant Processing Fees-Rec Services	948.13
03/31/2022	496022300883_03/22	BPD WEB Merchant Processing Fee	200-250-308-5800-62400	Merchant Processing Fees-Aquatics	303.40
03/31/2022	496022300883_03/22	BPD WEB Merchant Processing Fee	200-251-290-6000-62400	Merchant Processing Fees-Fitness Facility	75.85
03/31/2022	496022301881_03/22	BPD ACC Merchant Processing Fee	200-102-101-1010-62400	Merchant Processing Fees-Rec Services	587.85
03/31/2022	496022301881_03/22	BPD ACC Merchant Processing Fee	200-250-308-5800-62400	Merchant Processing Fees-Aquatics	117.57
03/31/2022	496022301881_03/22	BPD ACC Merchant Processing Fee	200-251-290-6000-62400	Merchant Processing Fees-Fitness Facility	58.78
03/31/2022	496022302889_03/22	BPD BRAC Merchant Processing Fee	200-102-101-1010-62400	Merchant Processing Fees-Rec Services	1,063.80
03/31/2022	496022302889_03/22	BPD BRAC Merchant Processing Fee	200-250-308-5800-62400	Merchant Processing Fees-Aquatics	319.14
03/31/2022	496022302889_03/22	BPD BRAC Merchant Processing Fee	200-251-290-6000-62400	Merchant Processing Fees-Fitness Facility	106.38
03/31/2022	496022306880_03/22	BPD PH Indoor Merchant Processing Fee	200-102-101-1010-62400	Merchant Processing Fees-Rec Services	336.17
03/31/2022	496022306880_03/22	BPD PH Indoor Merchant Processing Fee	200-250-308-5800-62400	Merchant Processing Fees-Aquatics	110.60
03/31/2022	496022306880_03/22	BPD PH Indoor Merchant Processing Fee	200-251-290-6000-62400	Merchant Processing Fees-Fitness Facility	33.62
03/31/2022	496270132889_03/22	BPD Business Office Merchant Processing Fee	200-250-308-5800-62400	Merchant Processing Fees-Aquatics	242.41
03/31/2022	496270132889_03/22	BPD Business Office Merchant Processing Fee	200-250-308-5800-62400	Merchant Processing Fees-Aquatics	0.00
03/31/2022	496270132889_03/22	BPD Business Office Merchant Processing Fee	200-251-290-6000-62400	Merchant Processing Fees-Fitness Facility	0.01
03/31/2022	496270132889_03/22	BPD Business Office Merchant Processing Fee	200-251-290-6000-62400	Merchant Processing Fees-Fitness Facility	565.61
03/31/2022	INV00070326	Wireless Credit Card Service (2 Units)-PH	200-250-308-5800-62100	Contractual Services-Equipment	50.00
<b>Vendor 11023 - Card Connect,LLC Total:</b>					<b>4,919.32</b>
<b>Vendor: 10164 - Case Lots, Inc.</b>					
02/15/2022	9947	Custodial Supplies - Buildings	100-170-101-1010-63110	Supplies-Custodial	79.90
02/15/2022	9948	Custodial Supplies - Buildings	100-170-101-1010-63110	Supplies-Custodial	449.00
03/22/2022	10535	Custodial Supplies BRAC - Buildings	100-170-101-1010-63110	Supplies-Custodial	159.80
03/22/2022	10536	Custodial Supplies B&G - Buildings	100-170-101-1010-63110	Supplies-Custodial	449.00
<b>Vendor 10164 - Case Lots, Inc. Total:</b>					<b>1,137.70</b>
<b>Vendor: 10189 - Chicago Office Technology Grp Cotg-A Xerox Company</b>					
03/21/2022	IN3444239	Printer Management Services	100-101-101-1010-62250	Office Equipment Maintenance & Support	115.60
03/21/2022	IN3446762	SureLock - 2 Licenses for BRAC Multipurpose Boards	100-101-101-1010-63070	Computer Supplies	86.00
03/23/2022	IN3454367	Printer Management Services-Ashbury's	400-475-475-5540-62250	Office Equipment Maintenance & Support-Ash at BR	282.58
<b>Vendor 10189 - Chicago Office Technology Grp Cotg-A Xerox Company Total:</b>					<b>484.18</b>
<b>Vendor: 10196 - Chris Martner</b>					
02/24/2022	February 2022	February 2022 - Director BGNR	100-171-101-1010-63800	Mileage	20.48
02/24/2022	February 2022	February 2022 - Director BGNR	100-172-101-1010-63800	Mileage	19.89

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/29/2022	March 2022	March 2022 - Director BGNR	100-171-101-1010-63800	Mileage	39.20
03/29/2022	March 2022	March 2022 - Director BGNR	100-172-101-1010-63800	Mileage	38.61
<b>Vendor 10196 - Chris Martner Total:</b>					<b>118.18</b>
<b>Vendor: 11051 - Chris Piasecki</b>					
03/31/2022	January - March 2022	January - March 2022 - Facility/Fitness Manager	200-251-290-6000-63800	Mileage	78.68
<b>Vendor 11051 - Chris Piasecki Total:</b>					<b>78.68</b>
<b>Vendor: 10199 - Christopher Corbett</b>					
03/31/2022	March 2022	March 22 - Supt of Projects & Planning	100-156-101-1010-63800	Mileage	267.93
<b>Vendor 10199 - Christopher Corbett Total:</b>					<b>267.93</b>
<b>Vendor: 10200 - Christy Sorenson</b>					
03/31/2022	January - March 2022	January - March 2022 - Program Event Manager	200-102-101-1010-63800	Mileage	64.94
<b>Vendor 10200 - Christy Sorenson Total:</b>					<b>64.94</b>
<b>Vendor: 10211 - Classic Graphic Industries, In</b>					
03/09/2022	88390	Blue Linen Check Stock	100-152-101-1010-63110	Supplies & Forms	435.23
<b>Vendor 10211 - Classic Graphic Industries, In Total:</b>					<b>435.23</b>
<b>Vendor: 10212 - Clear Loss Prevention</b>					
03/31/2022	68788	Video Security/Access Control Systems Maintenance	100-170-101-1010-62220	Electronic Security Maintenance-B&G	429.00
03/31/2022	68788	Video Security/Access Control Systems Maintenance	100-171-101-1010-62220	Electronic Security Maintenance-B&G	429.00
03/31/2022	68788	Video Security/Access Control Systems Maintenance	200-102-101-2000-62220	Electronic Security Maintenance-ACC	1,768.00
03/31/2022	68788	Video Security/Access Control Systems Maintenance	200-102-101-2000-62220	Electronic Security Maintenance-ACC	297.00
03/31/2022	68788	Video Security/Access Control Systems Maintenance	200-102-101-2020-62220	Electronic Security Maintenance-BRAC	1,768.00
03/31/2022	68788	Video Security/Access Control Systems Maintenance	200-102-101-2020-62220	Electronic Security Maintenance-BRAC	237.00
03/31/2022	68788	Video Security/Access Control Systems Maintenance	400-475-475-5540-62220	Electronic Security Maintenance-Ashbury's	856.00
<b>Vendor 10212 - Clear Loss Prevention Total:</b>					<b>5,784.00</b>
<b>Vendor: 10213 - Cliff Beyer</b>					
01/31/2022	January 2022	January 2022 - Buildings Maintenance Manager	100-170-101-1010-63800	Mileage	35.10
02/28/2022	February 2022	February 2022 - Buildings Maintenance Manager	100-170-101-1010-63800	Mileage	18.87
03/24/2022	March 2022	March 2022 - Buildings Maintenance Manager	100-170-101-1010-63800	Mileage	35.10
<b>Vendor 10213 - Cliff Beyer Total:</b>					<b>89.07</b>
<b>Vendor: 11149 - Collette Vacations</b>					
03/31/2022	1088015	Canyon Country Deposits	200-200-230200	Travel Deposits-Collette	3,596.00
<b>Vendor 11149 - Collette Vacations Total:</b>					<b>3,596.00</b>
<b>Vendor: 10217 - Comcast Cable</b>					
03/11/2022	8771201430420228 04/22	BRAC Internet	200-102-101-2020-70200	Remote Communication Lines-BRAC	39.93
03/11/2022	8771201430420228 04/22	BRAC Internet	200-102-310-2020-70200	Remote Communication Lines-BRAC Childcare	10.00
03/11/2022	8771201430420228 04/22	BRAC Fitness Internet	200-251-290-6000-70200	Remote Communication Lines	89.92
03/19/2022	8771201430355952 04/22	BRAC Fitness Cable TV	200-102-101-2020-70200	Remote Communication Lines-BRAC	47.36
03/19/2022	8771201430355952 04/22	BRAC Fitness Cable TV	200-251-290-6000-70200	Remote Communication Lines	110.50
03/20/2022	8771201430577076 04/22	Ashbury TV/Internet	400-475-475-5540-70200	Remote Communication Lines-Ashbury's at BR	564.48
03/24/2022	8771201430425136 04/22	BGNR Internet	100-170-101-1010-70200	Remote Communication Lines	49.93
03/24/2022	8771201430425136 04/22	BGNR Internet	100-171-101-1010-70200	Remote Communication Lines	49.92
03/09/2022	8771201430059067 04/22	BRAC Cable TV	200-102-101-2020-70200	Remote Communication Lines-BRAC	44.96

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/09/2022	8771201430059067 04/22	BRAC Cable TV	200-251-290-6000-70200	Remote Communication Lines	104.90
04/02/2022	8771201430420269 04/22	ACC Internet #1	100-101-101-1010-70200	Remote Communication Lines	154.95
04/02/2022	8771201430420269 04/22	ACC Internet #1	200-102-101-2000-70200	Remote Communication Lines-ACC	154.95
04/04/2022	8771201430496947 04/22	ACC Internet #2	100-101-101-1010-70200	Remote Communication Lines	79.90
<b>Vendor 10217 - Comcast Cable Total:</b>					<b>1,501.70</b>
<b>Vendor: 10218 - Commonwealth Edison</b>					
03/01/2022	0909087001 02/22	Electric-LC Sports Field Complex	200-102-306-2080-71000	Electric Service-Ball Fields	193.46
03/01/2022	7478391004 02/22	Electric-Ashbury's	400-475-475-5540-71000	Electric Service-Ashbury's at BR	1,014.60
03/02/2022	0107039074 02/22	Electric-B&G	100-170-101-1010-71000	Electric Service-B&G	654.35
03/02/2022	03_2987171006 02/22	Electric-Boan Woods	100-171-101-1010-71000	Electric-Grounds	34.04
03/02/2022	0445192003 02/22	Electric - Ind Bndy Restroom Shelter	200-102-306-2080-71000	Electric Service-Ball Fields	42.07
03/02/2022	0447696004 02/22	Electric-Annerino	100-101-101-1010-71000	Electric Service-ACC	1,029.00
03/02/2022	0447696004 02/22	Electric-Annerino	200-102-101-2000-71000	Electric Service-ACC	1,029.00
03/02/2022	0913106046 02/22	Electric - Bulldog Park	200-102-306-2080-71000	Electric Service-Ball Fields	52.31
03/02/2022	7065764004 02/22	Electric - Indian Boundary Concession/Shelter	200-102-306-2080-71000	Electric Service-Ball Fields	228.13
03/02/2022	8997569005 02/22	Electric - DD	200-102-101-2040-71000	Electric Service-DD	53.87
03/31/2022	03_2987171006 03/22	Electric-Boan Woods	100-171-101-1010-71000	Electric-Grounds	46.42
04/01/2022	01_7319017007 03/22	Electric Service - Wipfler Park	200-102-306-2080-71000	Electric Service-Ball Fields	25.68
04/01/2022	02_0792103023 03/22	Electric Service - Indian Bndry - Socr Bball 5 LTG	200-102-306-2080-71000	Electric Service-Ball Fields	52.13
<b>Vendor 10218 - Commonwealth Edison Total:</b>					<b>4,455.06</b>
<b>Vendor: 10227 - Correct Electric, Inc.</b>					
02/28/2022	21825	ACC Sensory Room Electrical	500-575-400-9500-75101	ADA Capital-ACC-Sensory Room	15,751.00
03/10/2022	22163	DD Motion Detector - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	215.00
<b>Vendor 10227 - Correct Electric, Inc. Total:</b>					<b>15,966.00</b>
<b>Vendor: 11406 - Costco</b>					
03/14/2022	INV0001004	NRPA - CPRE Application & Exam - Dir of Facilities	200-102-101-1010-61000	Employee Development	200.00
<b>Vendor 11406 - Costco Total:</b>					<b>200.00</b>
<b>Vendor: 10234 - Crossroad Construction, Inc.</b>					
03/30/2022	1028	PH Plunge Pool East Wall - Buildings	600-600-650-9610-76294	CARP-PH-Walls-Concrete Large Slide Plunge Pool (3)	24,675.00
<b>Vendor 10234 - Crossroad Construction, Inc. Total:</b>					<b>24,675.00</b>
<b>Vendor: 11474 - Davis Bancorp, Incorporated</b>					
03/31/2022	103088	2022 Secure Depository Services	100-101-101-1010-62420	Secure Depository Services	568.00
03/31/2022	103088	Security Bags SB-700	100-152-101-1010-63110	Supplies & Forms	173.00
<b>Vendor 11474 - Davis Bancorp, Incorporated Total:</b>					<b>741.00</b>
<b>Vendor: 10264 - Delta Dental-Risk</b>					
04/01/2022	1545891	Dental Insurance 2022	100-101-101-1010-61410	Healthcare-Dental	4,175.05
<b>Vendor 10264 - Delta Dental-Risk Total:</b>					<b>4,175.05</b>
<b>Vendor: 10275 - Direct Energy Business</b>					
04/06/2022	HS22970676	Natural Gas Service - BRAC	200-102-101-2020-71100	Natural Gas-BRAC	1,216.93
04/06/2022	HS22970676	Natural Gas Service - BRAC	200-250-308-5800-71100	Natural Gas-AQ	1,081.72
04/06/2022	HS22970676	Natural Gas Service - BRAC	200-251-290-6000-71100	Natural Gas-Fitness	405.65
<b>Vendor 10275 - Direct Energy Business Total:</b>					<b>2,704.30</b>
<b>Vendor: 11131 - Domino's Pizza</b>					
03/12/2022	645651	Swim Team Banquet	200-250-200-5020-63220	Supplies-Swim Team	524.29
03/12/2022	645652	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29
03/12/2022	645653	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/12/2022	645654	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	62.29
03/12/2022	645655	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/13/2022	645894	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29



## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/13/2022	645895	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29
03/13/2022	645896	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	72.29
03/13/2022	645897	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	62.29
03/13/2022	645898	Ninja Party	200-211-306-8300-63300	Supplies-Parties	50.29
03/19/2022	646705	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29
03/19/2022	646706	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/19/2022	646707	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/19/2022	646708	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/19/2022	646711	Ninja Party	200-211-306-8300-63300	Supplies-Parties	62.29
03/20/2022	646953	Ninja Party	200-211-306-8300-63300	Supplies-Parties	42.29
03/20/2022	646954	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	62.29
03/20/2022	646955	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	62.29
03/20/2022	646956	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	102.29
03/20/2022	646957	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/26/2022	647816	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29
03/26/2022	647817	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	82.29
03/26/2022	647818	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	62.29
03/26/2022	647819	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29
03/27/2022	648018	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	52.29
03/27/2022	648019	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29
03/27/2022	648020	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29
03/04/2022	644375	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	52.29
03/05/2022	644604	Gymnastics Party	200-211-306-8300-63300	Supplies-Parties	42.29
03/05/2022	644605	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/05/2022	644606	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	42.29
03/05/2022	644607	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	72.29
03/05/2022	644608	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	90.29
03/06/2022	644831	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	52.29
03/06/2022	644832	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/06/2022	644833	Pelican Harbor Parties	200-250-300-8300-63300	Supplies-Pool Parties	32.29
03/06/2022	644834	Ninja Party	200-211-306-8300-63300	Supplies-Parties	32.29
<b>Vendor 11131 - Domino's Pizza Total:</b>					<b>2,312.73</b>
<b>Vendor: 11205 - Door Systems</b>					
03/15/2022	907643	B&G Middle Overhead Door Eyes - Buildings	100-170-101-1010-65100	Maintenance & Repairs-B&G	1,120.00
<b>Vendor 11205 - Door Systems Total:</b>					<b>1,120.00</b>
<b>Vendor: 10290 - Dreisilker Electric Motors</b>					
03/15/2022	1208980	Pool VFDs - Buildings	600-600-650-9610-76265	CARP-PH-VFD Motors (13)	20,275.55
<b>Vendor 10290 - Dreisilker Electric Motors Total:</b>					<b>20,275.55</b>
<b>Vendor: 10291 - Drendel Property Management</b>					
03/29/2022	CM255	Drendel Property Management 2022 Contract	400-400-410-5540-62000	Course Maintenance	15,250.00
<b>Vendor 10291 - Drendel Property Management Total:</b>					<b>15,250.00</b>
<b>Vendor: 10297 - Dynegy Energy Services</b>					
03/21/2022	146547422031	Electric-Annerino	100-101-101-1010-71000	Electric Service-ACC	1,467.81
03/21/2022	146547422031	Electric-B&G	100-170-101-1010-71000	Electric Service-B&G	908.37
03/21/2022	146547422031	Electric-Annerino	200-102-101-2000-71000	Electric Service-ACC	1,467.81
03/21/2022	146547422031	Electric-BRAC	200-102-101-2020-71000	Electric Service-BRAC	4,060.85
03/21/2022	146547422031	Electric - DD	200-102-101-2040-71000	Electric Service-DD	45.81
03/21/2022	146547422031	Electric - Bulldog Park	200-102-306-2080-71000	Electric Service-Ball Fields	43.41
03/21/2022	146547422031	Electric-Lily Cache Sportsfield East	200-102-306-2080-71000	Electric Service-Ball Fields	133.97
03/21/2022	146547422031	Electric - Lily Cache Sportsfield W Camp	200-102-306-2080-71000	Electric Service-Ball Fields	156.78
03/21/2022	146547422031	Electric - Indian Boundary Concession/Shelter	200-102-306-2080-71000	Electric Service-Ball Fields	242.45
03/21/2022	146547422031	Electric-Remington Lakes	200-102-306-2080-71000	Electric Service-Ball Fields	511.01
03/21/2022	146547422031	Electric-BRAC	200-250-308-5800-71000	Electric Service-AQ	3,609.65
03/21/2022	146547422031	Electric - BRAC	200-251-290-6000-71000	Electric Service-Fitness	1,353.62

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/21/2022	146547422031	Electric-Ashbury's	400-475-475-5540-71000	Electric Service-Ashbury's at BR	1,359.61
<b>Vendor 10297 - Dynegy Energy Services Total:</b>					<b>15,361.15</b>
<b>Vendor: 11765 - Eva Walker Outlaw</b>					
01/28/2022	101	IAPD Conference Transportation - Commissioner DA	100-101-101-1010-63001	Commissioner Expense	109.92
<b>Vendor 11765 - Eva Walker Outlaw Total:</b>					<b>109.92</b>
<b>Vendor: 10326 - Fidelity Security Ins/Eyemed</b>					
03/22/2022	165214908	Vision Insurance 2022	100-101-101-1010-61420	Healthcare-Vision	568.09
<b>Vendor 10326 - Fidelity Security Ins/Eyemed Total:</b>					<b>568.09</b>
<b>Vendor: 10328 - Firestone Tire&amp;Service Center Payment Center</b>					
03/10/2022	341300	Tire Recycle - Grounds	100-171-101-1010-65200	Vehicle Repairs & Service- Grounds	26.00
<b>Vendor 10328 - Firestone Tire&amp;Service Center Payment Center Total:</b>					<b>26.00</b>
<b>Vendor: 10343 - Forest Preserve District of Will County</b>					
04/01/2022	22-03 CR	Telecommunications Credit	300-300-308-9000-70200	Remote Communication Lines	-1,200.00
04/01/2022	22-03	Hidden Oaks Nature Center Preschool Room Rent	300-300-308-9000-62098	Facility Rent Fees	1,800.00
<b>Vendor 10343 - Forest Preserve District of Will County Total:</b>					<b>600.00</b>
<b>Vendor: 10349 - Fun Express, LLC</b>					
03/08/2022	715459598-01	Table Cloths	200-250-300-8300-63300	Supplies-Pool Parties	287.82
<b>Vendor 10349 - Fun Express, LLC Total:</b>					<b>287.82</b>
<b>Vendor: 11764 - Gannett Publishing Services, LLC</b>					
02/28/2022	0004467659	Print February/March Newsletter	100-101-101-1010-67600	Brochure-General Services	896.39
02/28/2022	0004467659	Print February/March Newsletter-Rec	200-102-101-1010-67600	Brochure-Recreation Services	3,216.46
02/28/2022	0004467659	Print February/March Newsletter-Aqua	200-250-308-5800-67600	Brochure-Aquatics	685.48
02/28/2022	0004467659	Print February/March Newsletter-Fitness	200-251-290-6000-67600	Brochure-Fitness	316.37
02/28/2022	0004467659	Print February/March Newsletter-Golf	400-475-480-5540-67600	Brochure-Ashbury's at BR	158.19
<b>Vendor 11764 - Gannett Publishing Services, LLC Total:</b>					<b>5,272.89</b>
<b>Vendor: 10360 - General Parts, LLC</b>					
03/16/2022	6327403	Ashburys Rational Oven - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	927.31
<b>Vendor 10360 - General Parts, LLC Total:</b>					<b>927.31</b>
<b>Vendor: 10380 - Grainger</b>					
03/01/2022	9228680295	BRAC Pool Floor Drains Credit - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	-283.84
03/01/2022	9228915022	BRAC Pool Deck Drain - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	99.78
03/16/2022	9246168893	Ashburys Bulbs - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	60.92
03/18/2022	9249636177	BRAC Electrical Supplies - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	13.90
03/22/2022	9253189378	Custodial Supplies B&G - Buildings	100-170-101-1010-63110	Supplies-Custodial	127.00
03/04/2022	9233347807	HVAC Filters - Buildings	100-170-101-1010-65130	Maintenance & Repairs-HVAC	456.20
<b>Vendor 10380 - Grainger Total:</b>					<b>473.96</b>
<b>Vendor: 11745 - Gurtner Plumbing Inc</b>					
03/30/2022	INV0001013	BRAC Childcare / Preschool Plumbing	600-600-650-9610-76306	CARP-BRAC-Preschool Room 3 Improvements	1,100.00
<b>Vendor 11745 - Gurtner Plumbing Inc Total:</b>					<b>1,100.00</b>
<b>Vendor: 11705 - Hannah Grise</b>					
03/17/2022	March 8-17 2022	March 8-17 2022 - Rec PT Staff	200-102-101-1010-63800	Mileage	25.16

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/04/2022	February - March 4 2022	February - March 4 2022 - Rec PT Staff	200-102-101-1010-63800	Mileage	43.29
<b>Vendor 11705 - Hannah Grise Total:</b>					<b>68.45</b>
<b>Vendor: 10400 - Heritage FS, Inc.</b>					
03/02/2022	32007420	Fuel - Diesel - Grounds	100-170-101-1010-63190	Fuel Purchases	29.00
03/02/2022	32007420	Fuel Gasoline - Grounds	100-170-101-1010-63190	Fuel Purchases	167.18
03/02/2022	32007420	Fuel Gasoline - Grounds	100-171-101-1010-63190	Fuel Purchases	1,241.93
03/02/2022	32007420	Fuel - Diesel - Grounds	100-171-101-1010-63190	Fuel Purchases	289.97
03/02/2022	32007420	Fuel Gasoline - Grounds	100-172-101-1010-63190	Fuel Purchases	979.21
03/02/2022	32007420	Fuel - Diesel - Grounds	100-172-101-1010-63190	Fuel Purchases	647.60
03/30/2022	32007556	Fuel - Gasoline	100-170-101-1010-63190	Fuel Purchases	194.89
03/30/2022	32007556	Fuel - Gasoline	100-171-101-1010-63190	Fuel Purchases	1,447.76
03/30/2022	32007556	Fuel - Gasoline	100-172-101-1010-63190	Fuel Purchases	1,141.50
<b>Vendor 10400 - Heritage FS, Inc. Total:</b>					<b>6,139.04</b>
<b>Vendor: 10401 - Hershey Creamery Company</b>					
03/08/2022	INVE0017537541	Ice Cream for Birthday Parties	200-250-300-8300-63300	Supplies-Pool Parties	386.40
<b>Vendor 10401 - Hershey Creamery Company Total:</b>					<b>386.40</b>
<b>Vendor: 10440 - Illinois American Water</b>					
03/10/2022	17_220005731813 04/22	Fire Services - Lily Cache Sports Fields	200-102-306-2080-71200	Water-Ball Fields	53.00
03/10/2022	18_220005731806 03/22	Water - Lily Cache Sports Fields	200-102-306-2080-71200	Water-Ball Fields	142.69
03/16/2022	02_210001000336 03/22	Water - Annerino	100-101-101-1010-71200	Water-ACC	204.71
03/16/2022	02_210001000336 03/22	Water - Annerino	200-102-101-2000-71200	Water-ACC	204.71
03/16/2022	03_210001000398 04/22	Fire Services - Annerino	100-101-101-1010-71200	Water-ACC	9.91
03/16/2022	03_210001000398 04/22	Fire Services - Annerino	200-102-101-2000-71200	Water-ACC	9.90
03/16/2022	04_210001347592 03/22	Water - B&G	100-170-101-1010-71200	Water-B&G	305.82
03/16/2022	05_210001347660 04/22	Fire Services B&G	100-170-101-1010-71200	Water-B&G	98.65
03/16/2022	08_210001615349 03/22	Water-Fire Bulldog Park	200-102-306-2080-71200	Water-Ball Fields	117.08
03/16/2022	11_210002217946 03/22	Water - B&G	100-170-101-1010-71200	Water-B&G	188.91
03/16/2022	20_220016222937 03/22	Water-Fire Wipfler	200-102-306-2080-71200	Water-Ball Fields	45.52
03/17/2022	15_220001014974 03/22	Water - Fire Trojan Concession Stand	200-102-306-2080-71200	Water-Ball Fields	68.74
03/18/2022	13_210003536558 04/22	Fire Services - DD	200-102-101-2040-71200	Water-DD	19.81
03/18/2022	16_220004478867 03/22	Water - Indian Boundary Park	200-102-306-2080-71200	Water-Ball Fields	38.57
03/22/2022	01_210000580204 03/22	Remington Lakes PIT - Water & Fire Protection	200-102-306-2080-71200	Water-Ball Fields	143.16
03/22/2022	06_210001383994 03/22	Water - BRAC	200-102-101-2020-71200	Water-BRAC	899.61
03/22/2022	06_210001383994 03/22	Water - BRAC	200-250-308-5800-71200	Water-AQ	4,498.07
03/22/2022	06_210001383994 03/22	Water - BRAC	200-251-290-6000-71200	Water-Fitness	599.75
03/22/2022	07_210001384058 04/22	Fire Services - BRAC	200-102-101-2020-71200	Water-BRAC	38.04
03/22/2022	07_210001384058 04/22	Fire Service - BRAC	200-250-308-5800-71200	Water-AQ	190.22
03/22/2022	07_210001384058 04/22	Fire Services - BRAC	200-251-290-6000-71200	Water-Fitness	25.37
03/22/2022	12_210003536480 03/22	Water - DD	200-102-101-2040-71200	Water-DD	69.18
03/22/2022	14_210002109922 03/22	Water - Pelican Harbor	200-250-308-5800-71200	Water-AQ	178.73
03/22/2022	19_220006393214 03/22	Water-Fire Indian Boundary Concessions	200-102-306-2080-71200	Water-Ball Fields	69.18
03/24/2022	21_210003373658 03/22	Water-Boan Woods	100-171-101-1010-71200	Water-Grounds	43.46
<b>Vendor 10440 - Illinois American Water Total:</b>					<b>8,262.79</b>
<b>Vendor: 10438 - Illinois Shotokan Karate</b>					
03/16/2022	749	Winter ISK	200-200-200-4210-62000	Contractual Services-Athletic Programs	19,503.00
<b>Vendor 10438 - Illinois Shotokan Karate Total:</b>					<b>19,503.00</b>
<b>Vendor: 10442 - Impress Printing &amp; Design</b>					
03/28/2022	24314	Block Party Application Forms 2022	200-201-306-2380-63500	Supplies-Community Services	158.00
<b>Vendor 10442 - Impress Printing &amp; Design Total:</b>					<b>158.00</b>
<b>Vendor: 11752 - Indiana Field Supplies, LLC</b>					
03/23/2022	2022-287	Double First Base Anchor	100-171-101-1010-63120	Materials-Athletic Fields	155.94
03/23/2022	2022-287	Dig Out Tool	100-171-101-1010-63120	Materials-Athletic Fields	110.00

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/23/2022	2022-287	Female Base Anchor	100-171-101-1010-63120	Materials-Athletic Fields	150.00
03/29/2022	2022-288	Soccer Nets - 6x16 - Grounds	100-171-101-1010-63120	Materials-Athletic Fields	1,000.00
03/29/2022	2022-288	Soccer Nets - 5x10 - Grounds	100-171-101-1010-63120	Materials-Athletic Fields	1,255.00
<b>Vendor 11752 - Indiana Field Supplies, LLC Total:</b>					<b>2,670.94</b>
<b>Vendor: 11031 - Innovation Landscape, Inc.</b>					
03/29/2022	1 - Bradford, Community, Winst...	Winston Woods Playground Installation	600-600-650-9610-76298	CARP-Winston Wds-Playground	27,098.10
03/29/2022	1 - Bradford, Community, Winst...	Bradford Park Playground Installation	600-600-650-9610-76299	CARP-Bradford Park-Playground	16,200.00
03/29/2022	1 - Bradford, Community, Winst...	Community Park Playground Installation	600-600-650-9610-76300	CARP-Community Park-Playground	9,900.00
<b>Vendor 11031 - Innovation Landscape, Inc. Total:</b>					<b>53,198.10</b>
<b>Vendor: 10488 - Jim's Truck Inspection Repair</b>					
03/14/2022	190739	Rec 7 State Inspection - Grounds	100-171-101-1010-65210	Vehicle Repairs & Service-Rec	37.00
03/22/2022	190903	State Inspection Truck #28 - Grounds	100-170-101-1010-65200	Vehicle Repairs & Service-Buildings	37.00
03/09/2022	190671	Trailer #2 State Inspection - Buildings	100-170-101-1010-65300	Maintenance & Repairs-Equipment	35.00
<b>Vendor 10488 - Jim's Truck Inspection Repair Total:</b>					<b>109.00</b>
<b>Vendor: 10491 - John Chase</b>					
01/31/2022	January 2022	January 2022 - Supt of Facilities	200-102-101-1010-63800	Mileage	119.34
02/28/2022	February 2022	February 2022 - Supt of Facilities	200-102-101-1010-63800	Mileage	141.57
03/23/2022	March 2022	March 2022 - Supt of Facilities	200-102-101-1010-63800	Mileage	45.63
<b>Vendor 10491 - John Chase Total:</b>					<b>306.54</b>
<b>Vendor: 11724 - Kaman Fluid Power</b>					
03/30/2022	L29201-001	Climbing Wall Parts - Buildings	200-201-306-2380-65000	Maintenance & Repairs-Community Services	19.99
03/31/2022	L29844-001	Climbing Wall Parts - Grounds	200-201-306-2380-65000	Maintenance & Repairs-Community Services	39.98
<b>Vendor 11724 - Kaman Fluid Power Total:</b>					<b>59.97</b>
<b>Vendor: 11403 - KeepitSafe, Inc.</b>					
03/31/2022	INVLUS-03427	Online Backup Services	100-101-101-1010-62200	Computer Maintenance & Support	3,357.16
<b>Vendor 11403 - KeepitSafe, Inc. Total:</b>					<b>3,357.16</b>
<b>Vendor: 11108 - Kemper Sports</b>					
04/01/2022	00069712	Kemper Management Fee	400-475-475-5550-62500	Contractual Services-Management Fee	7,696.34
<b>Vendor 11108 - Kemper Sports Total:</b>					<b>7,696.34</b>
<b>Vendor: 11488 - Kranz, Inc. Div. Imperial Dade</b>					
03/17/2022	6536164-00	Vacuum Part - Buildings	100-170-101-1010-65300	Maintenance & Repairs-Equipment	162.15
03/24/2022	1764545-00	Custodial Supplies BRAC - Buildings	100-170-101-1010-63110	Supplies-Custodial	1,458.21
03/24/2022	1764546-00	Custodial Supplies ACC - Buildings	100-170-101-1010-63110	Supplies-Custodial	578.62
03/24/2022	1764547-00	Custodial Supplies B&G - Buildings	100-170-101-1010-63110	Supplies-Custodial	194.40
03/04/2022	1762696-01	Custodial Supplies ACC - Buildings	100-170-101-1010-63110	Supplies-Custodial	38.60
03/04/2022	17626995-01	Custodial Supplies BRAC - Buildings	100-170-101-1010-63110	Supplies-Custodial	38.60
<b>Vendor 11488 - Kranz, Inc. Div. Imperial Dade Total:</b>					<b>2,470.58</b>
<b>Vendor: 11325 - Lakeshore Recycling Systems</b>					
03/10/2022	PS436882	Port-a-let Rental Remington 021122-031022-Grounds	500-575-400-9500-63100	Park Accessibility Materials	91.61
<b>Vendor 11325 - Lakeshore Recycling Systems Total:</b>					<b>91.61</b>

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
<b>Vendor: 10559 - Les Mills US Trading</b>					
03/01/2022	SIV0129463	Monthly Service Fee	200-251-292-6020-62000	Contractual Agreements-Group Exercise	532.00
<b>Vendor 10559 - Les Mills US Trading Total:</b>					<b>532.00</b>
<b>Vendor: 11389 - Lift Works Inc.</b>					
03/11/2022	w20412-1	B&G Nifty Lift Repair	100-170-101-1010-65300	Maintenance & Repairs-Equipment	367.88
<b>Vendor 11389 - Lift Works Inc. Total:</b>					<b>367.88</b>
<b>Vendor: 11753 - Little Sioux Prairie Co.</b>					
03/02/2022	030222JTVC214	Dew Drop Drill Seeder NRHT	600-600-650-9610-75142	Capital-BGNNR-Dew Drop Seeder	8,650.00
<b>Vendor 11753 - Little Sioux Prairie Co. Total:</b>					<b>8,650.00</b>
<b>Vendor: 10572 - M.I.P.E.</b>					
03/31/2022	INV0001012	MIPE April Meeting - Parks Maintenance Manager	100-171-101-1010-61000	Employee Development	15.00
03/31/2022	INV0001012	MIPE April Meeting - Director BGNR	100-171-101-1010-61000	Employee Development	15.00
03/31/2022	INV0001012	MIPE April Meeting - NRHT Manager	100-172-101-1010-61000	Employee Development	15.00
<b>Vendor 10572 - M.I.P.E. Total:</b>					<b>45.00</b>
<b>Vendor: 10594 - McCann Industries, Inc.</b>					
03/23/2022	P40522	221 Loader Filters - Grounds & NRHT	100-171-101-1010-65300	Equipment Maintenance & Repairs	860.12
03/23/2022	P40522	221 Loader Filters - Grounds & NRHT	100-172-101-1010-65300	Equipment Maintenance & Repairs	860.11
03/25/2022	R02643	Central Tee-Ball Water Leak - Buildings	100-170-101-1010-65110	Maint. & Repairs-Park Structures & Storage Units	302.40
<b>Vendor 10594 - McCann Industries, Inc. Total:</b>					<b>2,022.63</b>
<b>Vendor: 10595 - McCloud</b>					
03/24/2022	16598962	Pest Control ACC - Buildings	100-170-101-1010-62000	Contractual Services	80.00
03/24/2022	16598963	Pest Control B&G Rodents - Buildings	100-170-101-1010-62000	Contractual Services	55.00
03/24/2022	16598964	Pest Control BRAC - Buildings	100-170-101-1010-62000	Contractual Services	70.00
03/24/2022	16600642	Pest Control ACC - Buildings	100-170-101-1010-62000	Contractual Services	17.00
<b>Vendor 10595 - McCloud Total:</b>					<b>222.00</b>
<b>Vendor: 10605 - Menards</b>					
02/21/2022	26943	BRAC Supplies - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	9.76
02/24/2022	27093	Fork Lift Fuel - Grounds	100-171-101-1010-63190	Fuel Purchases	36.49
02/25/2022	27135	BRAC Pool Drain Cover Supplies - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	43.55
02/28/2022	27247	B&G Supplies	100-171-101-1010-63130	Materials-Park	16.18
02/28/2022	27255	ACC Misc Items & Bulbs - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	52.89
02/04/2022	26171	Shear Pins for Snow Thrower - Grounds	100-171-101-1010-65300	Equipment Maintenance & Repairs	2.95
03/01/2022	27297	BRAC Tile Cutter - Buildings	100-170-101-1010-65300	Maintenance & Repairs-Equipment	29.99
03/01/2022	27306	Concessions Misc Plumbing - Buildings	100-170-101-1010-65110	Maint. & Repairs-Park Structures & Storage Units	75.15
03/10/2022	27740	Propane Fuel Forklift - Grounds	100-171-101-1010-63190	Fuel Purchases	36.49
03/10/2022	27766	Misc Custodial Supplies - Buildings	100-170-101-1010-63110	Supplies-Custodial	14.52
03/10/2022	27766	ACC Threshold- Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	85.32
03/11/2022	27814	Concessions Misc Plumbing Credit - Buildings	100-170-101-1010-65110	Maint. & Repairs-Park Structures & Storage Units	-19.92
03/11/2022	27815	Concessions Start Up - Buildings	100-170-101-1010-65110	Maint. & Repairs-Park Structures & Storage Units	79.16
03/14/2022	27919	Ashburys Water Salt - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	23.95

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/14/2022	27923	PH Bathhouse Door Electrical Supplies - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	16.27
03/14/2022	27931	Concession Repairs - Buildings	100-170-101-1010-65110	Maint. & Repairs-Park Structures & Storage Units	27.05
03/16/2022	28005	Drainage Pipe - NRHT	100-172-101-1010-63150	Materials-Turf Care	1.99
03/02/2022	27360	B&G Misc Supplies - Buildings	100-170-101-1010-65100	Maintenance & Repairs-B&G	15.94
03/03/2022	27402	Concession Plumbing Supplies - Buildings	100-170-101-1010-65110	Maint. & Repairs-Park Structures & Storage Units	23.66
03/03/2022	27409 - 2022	BRAC Pipe Insulation - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	30.92
03/04/2022	27459	Cold Patch - Grounds	100-171-101-1010-63130	Materials-Park	408.87
<b>Vendor 10605 - Menards Total:</b>					<b>1,011.18</b>
<b>Vendor: 11682 - Metal Edge - A Division of ORC</b>					
03/31/2022	Z22XS0002-1	PH Bathhouse Roof - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	14,860.00
<b>Vendor 11682 - Metal Edge - A Division of ORC Total:</b>					<b>14,860.00</b>
<b>Vendor: 11538 - MetLife</b>					
03/16/2022	INV0001007	Supplemental Life	100-000-220438	Vol Ins Payable-Term Life Insurance	211.58
03/16/2022	INV0001007	Life Insurance 2022	100-101-101-1010-61430	Healthcare-Life	1,007.55
<b>Vendor 11538 - MetLife Total:</b>					<b>1,219.13</b>
<b>Vendor: 10611 - Michael Ochs</b>					
03/27/2022	INV0001022	March Volleyball Officials	200-210-200-4020-62000	Contractual Services-Leagues	1,827.00
<b>Vendor 10611 - Michael Ochs Total:</b>					<b>1,827.00</b>
<b>Vendor: 10622 - Midwest Trading</b>					
03/09/2022	I497424	Flat and Pack Mix Bag - Greenhouse Soil Mix NRHT	100-172-101-1010-63160	Materials-Natural Areas	124.00
<b>Vendor 10622 - Midwest Trading Total:</b>					<b>124.00</b>
<b>Vendor: 10938 - Mindsight</b>					
03/03/2022	INV6694	Cisco Subscription Services-Year 2 of 3	100-101-101-1010-62210	Network Maintenance & Support	7,782.17
04/01/2022	INV6853	Network Managed Services	100-101-101-1010-62210	Network Maintenance & Support	1,625.00
<b>Vendor 10938 - Mindsight Total:</b>					<b>9,407.17</b>
<b>Vendor: 10643 - Muzak LLC</b>					
03/30/2022	4883226	Controller	200-102-101-2020-64500	Equipment-BRAC	580.00
04/01/2022	56741068	Muzak Subscription-ACC, BRAC	200-102-101-1010-67000	Marketing-Recreation Services	174.43
04/01/2022	56741068	Muzak Subscription-PH	200-250-308-5800-62000	Contractual Services	55.23
<b>Vendor 10643 - Muzak LLC Total:</b>					<b>809.66</b>
<b>Vendor: 10657 - Neuco Inc.</b>					
01/14/2022	5606282	ACC HVAC - Buildings	100-170-101-1010-65130	Maintenance & Repairs-HVAC	176.35
01/31/2022	5657544	Ashburys HVAC - Buildings	100-170-101-1010-65130	Maintenance & Repairs-HVAC	179.69
01/31/2022	5657550	Ashburys HVAC - Buildings	100-170-101-1010-65130	Maintenance & Repairs-HVAC	125.62
01/31/2022	5659702	B&G HVAC - Buildings	100-170-101-1010-65130	Maintenance & Repairs-HVAC	30.50
03/15/2022	5777658	B&G Chemical Room Heater - Buildings	100-170-101-1010-65100	Maintenance & Repairs-B&G	39.10
03/04/2022	5754163	B&G Thermostat - Buildings	100-170-101-1010-65100	Maintenance & Repairs-B&G	27.52
<b>Vendor 10657 - Neuco Inc. Total:</b>					<b>578.78</b>
<b>Vendor: 10664 - Nicor Gas</b>					
03/28/2022	01_53-69-23-7341 7 03/22	Natural Gas Services - Storage Building	100-101-101-1010-71110	Natural Gas-Storage Building	87.50
03/29/2022	03_11-73-40-2000 8 03/22	Natural Gas Services - Annerino	100-101-101-1010-71100	Natural Gas-ACC	808.13
03/29/2022	03_11-73-40-2000 8 03/22	Natural Gas Services - Annerino	200-102-101-2000-71100	Natural Gas-ACC	808.13
03/29/2022	04_03-88-92-9123 7 03/22	Natural Gas Services - B&G	100-170-101-1010-71100	Natural Gas-B&G	1,251.88
03/30/2022	02_32-67-60-2000 4 03/22	Natural Gas Services - BRAC	200-250-308-5800-71100	Natural Gas-AQ	434.85
03/30/2022	05_37-26-72-2000 4 03/22	Natural Gas Services - DD	200-102-101-2040-71100	Natural Gas-DD	179.21

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
04/01/2022	01_20-21-00-2000 2 03/22	2022 Natural Gas Service - BRAC	200-102-101-2020-71100	Natural Gas-BRAC	406.44
04/01/2022	01_20-21-00-2000 2 03/22	Natural Gas Services - BRAC	200-250-308-5800-71100	Natural Gas-AQ	361.28
04/01/2022	01_20-21-00-2000 2 03/22	Natural Gas Services - BRAC	200-251-290-6000-71100	Natural Gas-Fitness	135.49
<b>Vendor 10664 - Nicor Gas Total:</b>					<b>4,472.91</b>
<b>Vendor: 10678 - Nutoys Leisure Products</b>					
03/17/2022	52628	Bradford Park Playground Purchase	600-600-650-9610-76299	CARP-Bradford Park-Playground	47,932.00
03/17/2022	52629	Community Park Playground Purchase	600-600-650-9610-76300	CARP-Community Park-Playground	57,210.00
03/17/2022	52630	Winston Woods Playground Purchase	600-600-650-9610-76298	CARP-Winston Wds-Playground	52,736.00
<b>Vendor 10678 - Nutoys Leisure Products Total:</b>					<b>157,878.00</b>
<b>Vendor: 10679 - O'Reilly Auto Parts</b>					
03/01/2022	3406-452088	Hustler Mowers Oil - NRHT	100-172-101-1010-65300	Equipment Maintenance & Repairs	71.94
<b>Vendor 10679 - O'Reilly Auto Parts Total:</b>					<b>71.94</b>
<b>Vendor: 10691 - Otis Elevator Company</b>					
03/08/2022	CYS24387001	Ashburys Elevator Emergency Repair - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	1,811.00
<b>Vendor 10691 - Otis Elevator Company Total:</b>					<b>1,811.00</b>
<b>Vendor: 10701 - PDRMA</b>					
03/31/2022	Q122048	Property Insurance Q1	810-100-810-9750-62500	PDRMA-Property Insurance	19,977.33
03/31/2022	Q122048	Liability Insurance Q1	810-100-810-9750-62510	PDRMA-Liability Insurance	9,854.55
03/31/2022	Q122048	Workers Compensation Insurance Q1	810-100-810-9750-62520	PDRMA-Workers Compensation Ins	23,514.06
03/31/2022	Q122048	Pollution Liability Insurance Q1	810-100-810-9750-62530	PDRMA-Pollution Liability Ins	594.00
03/31/2022	Q122048	Employment Practice Insurance Q1	810-100-810-9750-62540	PDRMA-Employment Practice	3,390.69
<b>Vendor 10701 - PDRMA Total:</b>					<b>57,330.63</b>
<b>Vendor: 10711 - Pike Systems, Inc.</b>					
04/01/2022	669535	Custodial Supplies BRAC - Buildings	100-170-101-1010-63110	Supplies-Custodial	499.84
04/01/2022	669683	Custodial Supplies BRAC - Buildings	100-170-101-1010-63110	Supplies-Custodial	1,417.00
04/01/2022	669684	Custodial Supplies B&G - Buildings	100-170-101-1010-63110	Supplies-Custodial	21.15
<b>Vendor 10711 - Pike Systems, Inc. Total:</b>					<b>1,937.99</b>
<b>Vendor: 10714 - Pioneer Athletics</b>					
03/10/2022	INV827828	Surcharge	100-171-101-1010-63120	Materials-Athletic Fields	806.40
03/10/2022	INV827828	Athletic Field Paint	100-171-101-1010-63120	Materials-Athletic Fields	8,064.00
<b>Vendor 10714 - Pioneer Athletics Total:</b>					<b>8,870.40</b>
<b>Vendor: 10716 - Pitney Bowes Inc.</b>					
01/30/2022	3105302696	Quarterly Postage Machine Lease	100-101-101-1010-64100	Office Equipment	484.35
<b>Vendor 10716 - Pitney Bowes Inc. Total:</b>					<b>484.35</b>
<b>Vendor: 10717 - Plainfield Signs</b>					
03/23/2022	18361	Authorized Vehicles Only - Grounds	100-171-101-1010-63130	Materials-Park	228.00
<b>Vendor 10717 - Plainfield Signs Total:</b>					<b>228.00</b>
<b>Vendor: 11713 - Prairie Moon Nursery</b>					
02/28/2022	2205913500	Native Seed NRHT	100-172-101-1010-63120	Materials-Plant	123.25
<b>Vendor 11713 - Prairie Moon Nursery Total:</b>					<b>123.25</b>
<b>Vendor: 11382 - Preferred Electrical Construction Corp of Illinois Inc.</b>					
03/11/2022	220278	BRAC Electrical Room Breaker Panels - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	540.00
03/11/2022	220279	ACC Parking Lights - Buildings	840-100-840-9800-65010	Outdoor Lighting Repairs	540.00
03/29/2022	220343	ACC Parking Lot Lights - Buildings	840-100-840-9800-65010	Outdoor Lighting Repairs	6,900.00

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/29/2022	220344	BRAC Lighting - Buildings	600-600-600-9600-76140	CARP-PH Indoor-Pool/Bathhouse Lighting	21,600.00
<b>Vendor 11382 - Preferred Electrical Construction Corp of Illinois Inc. Total:</b>					<b>29,580.00</b>
<b>Vendor: 11328 - Pro Jansan, LLC</b>					
03/18/2022	24176	Dog Waste Bags	100-171-101-1010-63130	Materials-Park	3,079.44
03/18/2022	24176	Dog Waste Bags	100-172-101-1010-63160	Materials-Natural Areas	1,539.72
<b>Vendor 11328 - Pro Jansan, LLC Total:</b>					<b>4,619.16</b>
<b>Vendor: 10742 - Quantum Marketing</b>					
03/15/2022	27665	Business Cards (1) set	100-101-101-1010-63050	Office Supplies	68.20
03/15/2022	27668	Business Cards (3) sets	100-101-101-1010-63050	Office Supplies	191.65
03/31/2022	27723	Business Cards	100-101-101-1010-63050	Office Supplies	68.88
<b>Vendor 10742 - Quantum Marketing Total:</b>					<b>328.73</b>
<b>Vendor: 11093 - R.J. O'Neil, Inc.</b>					
03/18/2022	00116411	Backflow Test - Buildings	100-170-101-1010-62000	Contractual Services	1,520.00
03/28/2022	00116572	BRAC Leisure Pool Filtration 001 & 002 - Buildings	600-600-650-9610-76246	CARP-BRAC-Valves	8,130.00
<b>Vendor 11093 - R.J. O'Neil, Inc. Total:</b>					<b>9,650.00</b>
<b>Vendor: 10767 - Rendel'S GMC Collision Specialists</b>					
03/03/2022	109406	Hustler Mowers Supplies - NRHT	100-172-101-1010-65300	Equipment Maintenance & Repairs	207.42
03/04/2022	109412	Hustler Mowers Supplies - NRHT	100-172-101-1010-65300	Equipment Maintenance & Repairs	63.11
<b>Vendor 10767 - Rendel'S GMC Collision Specialists Total:</b>					<b>270.53</b>
<b>Vendor: 10798 - Russo Power Equipment</b>					
03/03/2022	SPI10981080	Cutquick Saw - Grounds	100-171-101-1010-64000	Equipment	900.00
<b>Vendor 10798 - Russo Power Equipment Total:</b>					<b>900.00</b>
<b>Vendor: 10820 - Shaw Media</b>					
03/01/2022	1961458	Newspaper Bid Ads - PH Floor	600-600-650-9610-76264	CARP-PH-Bathhouse Flooring	126.86
03/31/2022	1966720	Newspaper Bid Ads - Sport Courts	600-600-650-9610-76295	CARP-Prairie Trails-Resurface/Crack Fill-2 Courts	121.64
<b>Vendor 10820 - Shaw Media Total:</b>					<b>248.50</b>
<b>Vendor: 11378 - Sheila Ubelhor</b>					
03/30/2022	January - March 2022	Acctg Clerk 2022 Qtr 1	100-152-101-1010-63800	Mileage	13.34
<b>Vendor 11378 - Sheila Ubelhor Total:</b>					<b>13.34</b>
<b>Vendor: 10824 - Sherwin Williams</b>					
03/10/2022	6079-9	S100 FieldLazer Paint Liner	100-171-101-1010-64000	Equipment	2,621.30
03/18/2022	7846-2	BRAC Paint - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	86.00
<b>Vendor 10824 - Sherwin Williams Total:</b>					<b>2,707.30</b>
<b>Vendor: 11767 - Sticky Fingers Cooking</b>					
03/07/2022	335	Cooking Class with Sticky Fingers	200-200-200-2960-62000	Contractual Services-Youth Programs	480.00
<b>Vendor 11767 - Sticky Fingers Cooking Total:</b>					<b>480.00</b>
<b>Vendor: 10877 - Swank Motion Pictures, Inc.</b>					
03/18/2022	BO 1887565	WYOC Movie Night License 04/29/2022	200-201-204-2335-62000	Contractual Services-WOYC	325.00
<b>Vendor 10877 - Swank Motion Pictures, Inc. Total:</b>					<b>325.00</b>
<b>Vendor: 10133 - The Shop BB, Inc</b>					
03/17/2022	46326	Playground Signs - Renderings	600-600-650-9610-75143	Capital-Dupage River Greenway-Playground	73.50
03/17/2022	46326	Playground Signs - Renderings	600-600-650-9610-76297	CARP-Sunset Park-Playground	73.50
03/17/2022	46326	Playground Signs - Renderings	600-600-650-9610-76298	CARP-Winston Wds-Playground	73.50
03/17/2022	46326	Playground Signs - Renderings	600-600-650-9610-76299	CARP-Bradford Park-Playground	73.50
03/17/2022	46326	Playground Signs - Renderings	600-600-650-9610-76300	CARP-Community Park-Playground	73.50
03/17/2022	46326	Playground Signs - Renderings	600-600-650-9610-76301	CARP-Freedom Park-Playground	147.00



## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/17/2022	46326	Sealcoat Sign Stakes	840-100-840-9800-65000	Paving Maintenance & Repairs	37.50
03/03/2022	44160	Bathroom Signs No Cell Phones	200-102-101-2020-63000	Supplies-BRAC	120.00
<b>Vendor 10133 - The Shop BB, Inc Total:</b>					<b>672.00</b>
<b>Vendor: 10129 - Tina Simpson</b>					
03/30/2022	INV0001008	Mardi Gras Supplies	100-101-101-1010-63050	Office Supplies	14.00
03/30/2022	INV0001008	State of the Village Luncheon - Center Pieces	100-101-101-1010-63050	Office Supplies	18.94
03/30/2022	INV0001008	BRAC Bug Traps	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	11.47
03/30/2022	INV0001008	ACC Sensory Room Caulk	500-575-400-9500-75101	ADA Capital-ACC-Sensory Room	19.26
03/31/2022	INV0000965	PH Start Up Cash	200-000-100100	Petty Cash-Programs	2,100.00
<b>Vendor 10129 - Tina Simpson Total:</b>					<b>2,163.67</b>
<b>Vendor: 11665 - Tree Towns Imaging &amp; Color Graphics</b>					
03/11/2022	0000298673	BRAC Bathroom Egress Sign - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	129.62
<b>Vendor 11665 - Tree Towns Imaging &amp; Color Graphics Total:</b>					<b>129.62</b>
<b>Vendor: 10930 - Tressler, LLP</b>					
03/08/2022	442772	General Matters	100-101-101-1010-62500	Legal Services	3,900.00
03/08/2022	442773	Board of Review Hearing	100-101-101-1010-62500	Legal Services	215.00
03/08/2022	442774	Real Property Matters	100-101-101-1010-62500	Legal Services	4,056.00
03/08/2022	442775	Promenade Tax Appeal	100-101-101-1010-62500	Legal Services	64.50
<b>Vendor 10930 - Tressler, LLP Total:</b>					<b>8,235.50</b>
<b>Vendor: 10937 - Tyler Technologies, Inc.</b>					
04/01/2022	025-371094	Financial Suite Maintenance	100-101-101-1010-62200	Computer Maintenance & Support	17,105.20
<b>Vendor 10937 - Tyler Technologies, Inc. Total:</b>					<b>17,105.20</b>
<b>Vendor: 11500 - UMB Bank, N.A.</b>					
03/08/2022	915477	2022 Agent Fees - 2019A Series	700-700-700-9650-62510	Agent Fees	318.00
03/08/2022	915478	2022 Agent Fees - 2019B Series	700-700-700-9650-62510	Agent Fees	318.00
<b>Vendor 11500 - UMB Bank, N.A. Total:</b>					<b>636.00</b>
<b>Vendor: 10944 - United Healthcare</b>					
03/10/2022	676296461959	Medical Insurance 2022	100-101-101-1010-61400	Healthcare-Medical	58,609.40
<b>Vendor 10944 - United Healthcare Total:</b>					<b>58,609.40</b>
<b>Vendor: 10962 - Valley View School District</b>					
03/31/2022	March 2022	March REACH VVSD Payment	200-202-200-3400-62000	Contractual Services-Pioneer	514.80
03/31/2022	March 2022	March REACH VVSD Payment	200-202-200-3440-62000	Contractual Services-Jonas Salk	300.60
<b>Vendor 10962 - Valley View School District Total:</b>					<b>815.40</b>
<b>Vendor: 10964 - Verizon Wireless</b>					
03/15/2022	9901936883	Cellular Service	100-101-101-1010-70100	Cellular Service	637.96
03/15/2022	9901936883	Cellular Service	100-170-101-1010-70100	Cellular Service	357.72
03/15/2022	9901936883	Cellular Service	100-171-101-1010-70100	Cellular Service	230.77
03/15/2022	9901936883	Cellular Service	100-172-101-1010-70100	Cellular Service	235.34
03/15/2022	9901936883	Cellular Service	200-102-101-1010-70100	Cellular Service	380.17
03/15/2022	9901936883	Cellular Service	200-102-310-2020-70100	Cellular Service-BRAC Childcare	1.71
03/15/2022	9901936883	Cellular Service	200-202-200-3400-70100	Cellular Service-Pioneer	38.59
03/15/2022	9901936883	Cellular Service	200-202-200-3440-70100	Cellular Service-Jonas Salk	38.59
03/15/2022	9901936883	Cellular Service	200-203-200-3200-70100	Cellular Service-Summer Camp	20.52
03/15/2022	9901936883	Cellular Services	200-214-230-2060-70100	Cellular Service-Oaks Preschool	39.97
03/15/2022	9901936883	Cellular Service	200-250-308-5800-70100	Cellular Service-Aquatics	106.09
03/15/2022	9901936883	Cellular Service	200-251-290-6000-70100	Cellular Service-Fitness	37.67
03/23/2022	9902621756	Cellular Data Services	100-170-101-1010-70100	Cellular Service	32.68
03/23/2022	9902621756	Cellular Data Service	100-171-101-1010-70100	Cellular Service	16.34
03/23/2022	9902621756	Cellular Data Services	200-102-101-1010-67000	Marketing-Recreation Services	10.89
03/23/2022	9902621756	Cellular Data Service	200-250-308-5800-67000	Marketing-Aquatics	10.89
03/23/2022	9902621756	Cellular Data Services	200-251-290-6000-67010	Marketing Retention-Facility	10.90
03/23/2022	9902621757	Cellular Data Services	200-202-200-3400-70100	Cellular Service-Pioneer	25.82

## Expense Approval Report

Due Dates: 04/21/2022 - 04/21/2022

Payable Date	Payable Number	Description (Item)	Account Number	Account Name	Amount
03/23/2022	9902621757	Cellular Data Services	200-202-200-3440-70100	Cellular Service-Jonas Salk	25.82
<b>Vendor 10964 - Verizon Wireless Total:</b>					<b>2,258.44</b>
<b>Vendor: 11326 - Vulcan Construction Materials, LLC</b>					
03/31/2022	32900057	Freight	100-171-101-1010-63120	Materials-Athletic Fields	308.89
03/31/2022	32900057	Screenings	100-171-101-1010-63120	Materials-Athletic Fields	623.38
<b>Vendor 11326 - Vulcan Construction Materials, LLC Total:</b>					<b>932.27</b>
<b>Vendor: 10973 - Walmart Community</b>					
02/23/2022	INV0000964	Supplies for Valley View Foundation Basket	100-101-101-1010-67000	Marketing-General Services	33.27
02/24/2022	INV0001006	Office Supplies	100-101-101-1010-63050	Office Supplies	21.89
03/10/2022	INV0001017	REACH Supplies	200-202-200-3400-63200	Supplies-Pioneer	82.27
03/15/2022	INV0000991	Misc Supplies - NRHT	100-172-101-1010-63160	Materials-Natural Areas	20.76
03/18/2022	INV0001003	Blacklights for VVSD Glow Night	200-200-200-2985-63200	Supplies-School Enrichment Programs	32.91
03/18/2022	INV0001005	Office Supplies	100-101-101-1010-63050	Office Supplies	21.73
03/04/2022	INV0001016	Gymnastics Party Supplies	200-211-306-8300-63300	Supplies-Parties	28.48
<b>Vendor 10973 - Walmart Community Total:</b>					<b>241.31</b>
<b>Vendor: 10974 - Warehouse Direct</b>					
03/22/2022	5192750-0	Office Supplies	100-101-101-1010-63050	Office Supplies	119.97
03/30/2022	5204210-0	Office Supplies	100-101-101-1010-63050	Office Supplies	15.50
<b>Vendor 10974 - Warehouse Direct Total:</b>					<b>135.47</b>
<b>Vendor: 10975 - Waste Management of IL S.W.</b>					
03/16/2022	3422437-2007-1	B&G Refuse Dumpster 2022 - Grounds	100-171-101-1010-62020	Contractual Services-Disposal Services	406.36
03/31/2022	6326245-2007-8	Recycle Removal Facilities - Buildings	100-170-101-1010-62000	Contractual Services	70.00
03/31/2022	6326245-2007-8	Refuse Removal Facilities - Buildings	100-170-101-1010-62000	Contractual Services	275.00
03/31/2022	6326245-2007-8	Recycle Removal B&G - Grounds	100-171-101-1010-62020	Contractual Services-Disposal Services	100.00
04/01/2022	3422683-2007-0	B&G Refuse Dumpster 2022 - Grounds	100-171-101-1010-62020	Contractual Services-Disposal Services	700.00
<b>Vendor 10975 - Waste Management of IL S.W. Total:</b>					<b>1,551.36</b>
<b>Vendor: 10982 - Westside Mechanical Group</b>					
03/14/2022	022529	Lochinvar Boiler #2 - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	60,000.00
<b>Vendor 10982 - Westside Mechanical Group Total:</b>					<b>60,000.00</b>
<b>Vendor: 11759 - WET Solutions, Inc.</b>					
03/01/2022	2203157	BRAC Lockinvar Boiler Loop - Buildings	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	500.00
03/16/2022	2203219	Lochinvar Closed Loop Treatment Chemical-Bldg	100-170-101-1010-65120	Maintenance & Repairs-Other Facilities	525.76
<b>Vendor 11759 - WET Solutions, Inc. Total:</b>					<b>1,025.76</b>
<b>Vendor: 10987 - William F. Meyer Co.</b>					
03/28/2022	S4161127.001	RomTech Bathroom - Buildings	100-170-101-1010-65110	Maint. & Repairs-Park Structures & Storage Units	414.75
<b>Vendor 10987 - William F. Meyer Co. Total:</b>					<b>414.75</b>
<b>Vendor: 11204 - Wolter, Inc.</b>					
03/01/2022	622273428	Forklift Service/Annual Inspection - Grounds	100-171-101-1010-65300	Equipment Maintenance & Repairs	175.67
<b>Vendor 11204 - Wolter, Inc. Total:</b>					<b>175.67</b>
<b>Vendor: 11118 - Woodridge Park District</b>					
03/31/2022	1851843	Mackinac Magic FBO Diamond Tours May 23-27 2022	200-200-210-2970-62000	Contractual Services-Adult Trips Programs	11,434.00
<b>Vendor 11118 - Woodridge Park District Total:</b>					<b>11,434.00</b>
<b>Grand Total:</b>					<b>757,825.63</b>

## Report Summary

<b>Fund Summary</b>	
<b>Fund</b>	<b>Expense Amount</b>
100 - General	250,448.42
200 - Recreation	98,268.63
300 - Museum	1,749.25
400 - Golf Course	28,326.25
500 - Special Recreation	15,861.87
600 - Capital	297,149.33
700 - Debt Service	636.00
810 - Insurance/Worker's Comp	57,410.59
840 - Paving & Lighting	7,975.29
<b>Grand Total:</b>	<b>757,825.63</b>